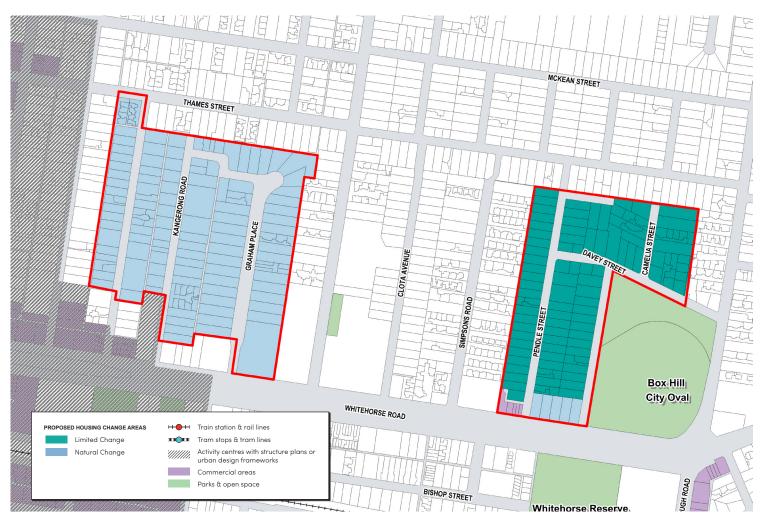
KEY EXISTING CHARACTERISTICS

- Architectural style is mixed, with a Californian Bungalow and Interwar base, several significant heritage Victorian dwellings, with post-war and contemporary infill development. The clustering of these heritage properties is significant.
- Brick, timber weatherboard and rendered finishes, with tiled rooftops.
- Building heights are generally 1-2 storeys, detached with semi-detached (units, terraces and townhouses) and attached (apartment) infill.
- Front setbacks generally range from 5-7m with 1-3m side setbacks, usually from both side boundaries. Heritage buildings and new developments sometimes have substantially smaller setbacks from the front.
- Graham Place, which incorporates a central circular green within its L-shaped layout, is distinctive both in its street alignment and the siting of the dwellings within the vicinity of the green.
- The Bolton Street area consists of a modified grid subdivision pattern, with formal street settings overlooking the Box Hill Oval.
- Garages or carports are generally located behind the front dwelling facade with single crossovers.
- Front fences are generally low or transparent, with side fences forward of the dwellings.
- Gardens are generally exotic and well-landscaped with substantial shrubs, garden beds, and lawn areas.
- Streetscapes are green and leafy, with grass nature strips and footpaths.
 Buildings are sometimes partially hidden behind street trees and vegetation.
- The topography of the area is generally flat.

PREFERRED CHARACTER STATEMENT

The combination of heritage, older style dwellings and well designed contemporary buildings set within gardens will continue to form the key characteristics of this area. New dwellings will be sited to reflect the spacious qualities and the dominance of gardens in the streetscape. Dwelling design will respond to the characteristics of the older dwellings including heavily articulated forms, 1-2 storey scale, pitched roofs and front and side setbacks that allow for planting, without replicating earlier styles. Low or open style front fences will allow private gardens to contribute to the leafy character of the

This area will undergo further investigation to determine whether additional Neighbourhood Character or Heritage Overlay controls are warranted.



GARDEN SUBURBAN PRECINCT 16 GUIDELINES

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