

What is this project about?

The City of Whitehorse is currently undertaking the Residential Corridors Built Form Study. This study looks to determine built form guidelines for those areas in the municipality along key road corridors where land is in the Residential Growth Zone (RGZ) and interfaces with land in the Neighbourhood Residential Zone (NRZ) or the General Residential Zone (GRZ).

Guidelines arising from the study will assist in the design of new development along key road corridors, such as Whitehorse Road and Burwood Highway.

Where is the study area?

This study focuses primarily on the major east-west tram and road corridors, where there is an interface between the RGZ and GRZ or NRZ to the rear or side.

What is the Residential Growth Zone (RGZ)?

Land that is intended primarily for residential purposes is generally included in one of the three residential zones – the Neighbourhood Residential Zone (NRZ), the General Residential Zone (GRZ), or the Residential Growth Zone (RGZ).

The RGZ has been applied across metropolitan Melbourne to land identified as suitable for increased residential development, such as locations offering good access to services and transport. The zone encourages a range of housing types, up to and including four storey buildings.

In Whitehorse, the RGZ has generally been applied to land located on main public transport routes, in activity centres and in areas close to railway stations. The application of the zone was based on the Whitehorse Housing Study and Neighbourhood Character Review 2014, and implemented through an amendment to the Whitehorse Planning Scheme (Amendment C160).

What does built form mean?

Built form relates to the overall visual impression of a building. How a building looks and fits into a local area can depend on qualities such as building setbacks, space between buildings, height, overshadowing, landscaping, pedestrian and vehicle access, its architecture, views of the building and the like.

Why am I receiving this newsletter?

You have been identified as living within, or near land, in the study area.



Legend

- City of Whitehorse Boundary
- Study Area
- Train Station
- Tram Stop
- - - Railway Lines
- Major Roads
- Parks

Study Areas



How long will this project take to complete?

It is anticipated that the project will be completed by the end of June 2018. It will then be presented to Council for consideration.

If approved, the final document will be used by Council to assess the design of new development proposed within the Residential Growth Zone along the key road corridors.

How can I have my say?

Copy the following weblink into the browser of your computer, mobile phone or tablet to access a short survey about the project.

Visit www.whitehorse.vic.gov.au/Residential-Corridor-Study.html to fill out a short survey or find out more about the project.

What does the survey ask?

The survey includes three questions and will take between 5-10 minutes to complete.

The survey seeks to understand what is important to you about your local area and your thoughts about what creates good development along major road corridors.

How long do I have to complete the survey?

The survey closes at midnight on **Sunday 22 April 2018**.

Why should I provide my input?

By completing the survey, you will have an opportunity to have your say about what is important to you in your local area.

If you don't want to complete the survey, but you still want to stay involved in the project, you can complete your details on the survey site or contact Council on the number below to be added to a mailing list for project information.

Can I tell my friends or family about this project?

This survey is open to anyone living and working in the area or interested in the project. Please feel free to share this information sheet to other people who you think may be interested in this project.

What happens next?

The survey responses will be collated and analysed to assist the team with the project.

The project team will then prepare draft guidelines, which will be available for community comment in the coming months.

How can I find out more information?

For further information, please contact the Strategic Planning Unit at Whitehorse City Council on 9262 6303.



Neighbourhood Residential Zone

Land in the Neighbourhood Residential Zone is intended for limited change. The zone allows for houses up to 2 storeys in height.



General Residential Zone

The General Residential Zone allows for a mix of houses and other residential uses up to 3 storeys in height.



Residential Growth Zone

Land in the Residential Growth Zone is planned for change. The zone envisages medium density housing such as townhouses and apartments of up to four storeys.

TIS Language Assistance

To communicate with Council in a language other than English, call our Telephone Interpreter Service (TIS) on 131 450. Ask to be connected to Whitehorse City Council.

Any personal information collected will be used solely by Council for the primary purpose of conducting the Residential Corridor Built Form Study. The intended recipients of the information are Council's Strategic Planning officers and their consultants. Council may disclose information to organisations authorised to collect it. Individuals have a right to seek access to their personal information and make corrections by contacting the Planning and Building Department on 9262 6303. You may also view Council's Privacy Policy or obtain a copy from any of our Council offices.

