

KEY EXISTING CHARACTERISTICS

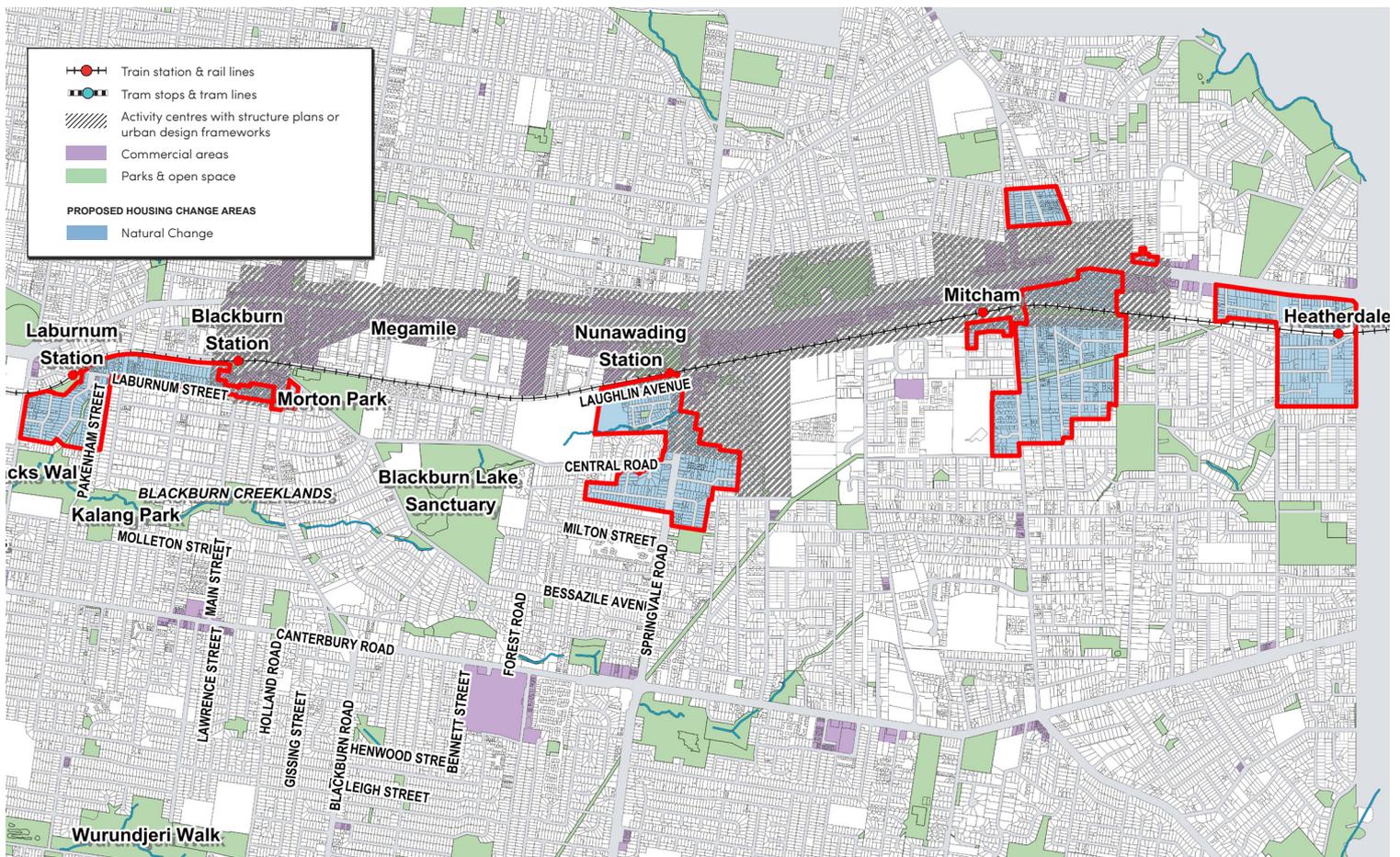
- Architectural style is mixed, consisting of pre-WWII, post-war, 1950s to 1980s and contemporary styles. There are a number of areas with predominant double and triple fronted cream brick veneers with pitched roofs.
- Materials are generally brick or timber with tiled roofs, and some use of render in contemporary dwellings.
- Dwellings are predominantly 1-2 storeys, detached with some semi-detached infill (units and townhouses).
- Front setbacks are generally 5-7m, with 1-4m side setbacks usually from at least one side boundary. Rear setbacks vary from 3-10m. Some new developments have smaller front, rear and side setbacks.
- Garages and carports are usually located behind the dwelling, along one side boundary with a single crossover, or incorporated into the building and setback from the front façade.
- Fences are nonexistent or low in height (up to 1.2m) and generally constructed of brick, timber or planted with vegetation.
- Gardens are mixed in styles (simple and bushy), with a mixture of established native and exotic vegetation, lawns and shrubs with canopy trees.
- Road treatments are sealed with upstanding kerbs and footpaths. Some newer subdivisions have rollover kerbs.
- Street trees are regularly planted and mixed in species, spacing and sizes. In areas closer to natural parklands, street trees are less regularly spaced, with more mixed species.
- Topography in the area is flat to gently sloping.
- The precinct abuts significant landscape areas such as the Gardiners Creek parklands, the Blackburn Creeklands and the residential areas surrounding Blackburn Lake Sanctuary

PREFERRED CHARACTER STATEMENT

The area will retain its classic bush suburban characteristics of low scale, pitched-roof dwellings set in spacious garden settings. The defined pattern of regular front setbacks and side setbacks from at least one side boundary will be maintained, allowing sufficient space for planting and growth of new vegetation. New buildings and additions will appear regular from the street and will be setback at upper levels to allow views between dwellings.

Low or open style front fences will provide a sense of openness along the streetscape, and allow views into front gardens. The landscape character of the area will be enhanced through the planting and growth of new vegetation, including large shrubs and tall canopy trees.

Areas with good access to train stations will accommodate more dwellings with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.



BUSH SUBURBAN PRECINCT 2 GUIDELINES

CHARACTER ELEMENT	OBJECTIVE	DESIGN RESPONSE	AVOID
GARDENS & LANDSCAPING	<i>To maintain and strengthen the garden setting of the dwellings and the tree canopy of the neighbourhood.</i>	<ul style="list-style-type: none"> Retain established or mature trees and provide for the planting of new canopy trees and substantial vegetation. Locate footings and paved areas outside the root zone of established trees. Prepare and implement a landscape plan that includes substantial trees and vegetation. Buildings should not exceed 40% site coverage. Provide at least 40% of the site as permeable surface. Provide for two ground level areas with minimum dimensions of 5m x 5m, for open space to accommodate substantial trees. Plant at least two canopy trees with a minimum mature height of 12 metres per dwelling. Open space areas should be oriented to the north wherever possible. 	<p>Removal of large, established trees.</p> <p>Loss of established vegetation.</p> <p>Inadequate space for trees/ planting around buildings.</p>
	<i>To minimise the loss of front garden space and the dominance of car parking structures.</i>	<ul style="list-style-type: none"> Provide only one vehicular crossover per typical site frontage. 	<p>Car parking structures that dominate the façade or view of the dwelling from the street.</p> <p>Creation of new crossovers and driveways, or wide crossovers.</p> <p>Excessive areas of hard paving and driveways.</p>
	<i>To maintain the sense of openness and visibility of tree canopies in rear gardens.</i>	<ul style="list-style-type: none"> Buildings should not exceed the dominant tree canopy height. Landscape plans for new developments should include canopy trees in rear gardens. 	<p>Bulky development dominating the tree canopy.</p> <p>Lack of space for large trees.</p>
	<i>To ensure the provision of permeable and useable private open space for new dwellings.</i>	<ul style="list-style-type: none"> In addition to any new balconies or rooftops, private open space with a minimum dimension of 5m x 5m for each dwelling should be provided. Private open space should be oriented to the north wherever possible and accommodate garden planting. 	<p>Inadequate permeable private open space.</p>
MINIMUM LOT SIZE	<i>To ensure the spacing and density of dwellings is managed to accord with housing objectives.</i>	<ul style="list-style-type: none"> A permit is required for the construction or extension of one dwelling on a lot that is less than 500 sq. m. Development of single dwellings on lots smaller than 500 sq. m. should only be approved if all other guidelines are satisfied. 	<p>Lot sizes and development that does not meet the other neighbourhood character Guidelines.</p>
SITING	<i>To maintain the consistency, where present, of front boundary setbacks.</i>	<ul style="list-style-type: none"> New buildings should be setback to reflect the prevailing front setbacks. 	<p>Loss of front garden space and / or consistent front setback patterns.</p>
	<i>To maintain and reinforce the rhythm of spacing between and around buildings, and the alignment of buildings along the street.</i>	<ul style="list-style-type: none"> Set back buildings a minimum of 2m from one side boundary. Any wall on the boundary should be setback from the front building façade 6 metres and no more than 60% of the total length of that boundary. Provide a separation of at least 3-4 metres between dwellings on the same site to accommodate vegetation. Carports, garages or outbuildings should be setback a minimum of 1m from the front façade of a dwelling fronting the street. 	<p>Inconsistent siting patterns and a lack of space around buildings.</p>
SENSITIVE LANDSCAPE ENVIRONS	<i>To ensure buildings make a positive contribution to adjacent creeklands and bushland reservations, areas of environmental or landscape significance, and other sensitive landscape environs.</i>	<ul style="list-style-type: none"> Minimise the visual impact of development on the adjacent sensitive landscape area. Building design should respond to the topography and minimise the need for cut and fill. Provide landscape plans that incorporate substantial use of indigenous and native trees and vegetation to reflect that in the adjacent sensitive landscape area. Minimise site coverage and hard surfaces on sites adjoining sensitive landscape environs. 	<p>Buildings that are visually dominant when viewed from within the sensitive landscape.</p> <p>Buildings that do not respond to the topography.</p> <p>Excessive site coverage and hard surfaces that leave inadequate space for trees and vegetation to complement the sensitive landscape environs.</p>
PARK INTERFACE	<i>To ensure that new development provides a positive interface with any adjoining parks and open space.</i>	<ul style="list-style-type: none"> Design new buildings to provide a façade to any adjacent parkland to enable casual passive surveillance of the public space. Buildings should be setback from the interface boundary so as not to dominate or appear overbearing from within the parkland. 	<p>Blank walls fronting parkland space.</p>
BUILDING HEIGHT & FORM	<i>To ensure that buildings and extensions do not dominate the streetscape.</i>	<ul style="list-style-type: none"> Buildings should not exceed three storeys in height. Any third level should be incorporated within the roof form of the building. Roof forms should incorporate eaves. 	<p>Buildings that appear to exceed the predominant height of buildings in the street by more than one storey.</p> <p>Lack of eaves.</p>
MATERIALS & DESIGN DETAIL	<i>To encourage building detailing that reflects, without mimicking, the details of buildings in the area.</i>	<ul style="list-style-type: none"> Articulate the facades of buildings with the use of recesses, verandahs, balconies, window openings and variations in materials and colours. 	<p>Blank walls and facades.</p> <p>Mock historical styles and 'reproduction' detailing.</p>
FRONT FENCING	<i>To retain views to dwellings and gardens, and complement the predominant style of front boundary delineation in the street.</i>	<ul style="list-style-type: none"> Provide a low or open style front fence up to 1.2m height, and constructed of materials appropriate to the dwelling style. Utilise vegetation as an alternative to fencing where possible. On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 50% permeability. 	<p>High, solid front fencing.</p>