

City of Whitehorse Individual Heritage Properties Review 2006

Windsor Park Estate & 32 High Street



Report
April 2006

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Introduction

The Whitehorse Heritage Review, Assessment of Precincts, prepared by Graeme Butler & Associates, 2003 recommended sections of the Windsor Park Estate for inclusion as a Heritage Overlay Precinct in the Whitehorse Planning Scheme.

Further assessment and historical research was undertaken for this precinct by Samantha Westbrooke and Jenny Dalrymple in 2004 as part of a recommendation report for inclusion of Black's Estate Precinct and the Windsor Park Estate Precinct in the Heritage Overlay. A Panel hearing was held on 31 January 2005 relating to inclusion of these precincts. The Panel's recommendation from this Hearing was that the Windsor Park Estate was not of sufficient intactness or cohesiveness to be worthy of inclusion as a precinct in the Heritage Overlay.

Following this, Council resolved to investigate the worthiness of the precinct for a Neighbourhood Character Overlay and in October 2005 Planisphere undertook a Neighbourhood Character Review of the Estate. The report concluded that a Neighbourhood Character Overlay could not be justified for the area but that individual Heritage Overlay controls may be appropriate for significant buildings.

The Whitehorse Heritage Review 2001 prepared by Andrew Ward included identification of individual properties of potential individual significance throughout the municipality. This included properties of potential significance in the Windsor Park Estate. Council requested that the Heritage Advisor, Samantha Westbrooke review any properties located in the Windsor Park Estate for their potential inclusion as individual properties in the Heritage Overlay.

Properties were reviewed if they had been identified as being of potential significance in Andrew Ward's Study of 2001 as follows:

21 Albany Crescent
26 Albany Crescent – Abergeldie
14 Albert Crescent – Not recommended
38 Albert Crescent - Leuwin Hall
Units 1-3, 1 Balmoral Crescent
683 Canterbury Rd – Former Service Station
12 Louise Ave
12 St Georges Ave – Not recommended
19 St Johns Ave
12 Windsor Crescent

In addition to the above Windsor Park Estate properties, an assessment of 32 High Street, Mont Albert was undertaken to determine whether it is worthy of inclusion in the existing Mont Albert Residential Heritage Overlay Precinct. While this property sits in between properties included in the precinct it has erroneously been excluded from the precinct. The assessment for 32 High Street is also contained within this report.

This report has been prepared by Samantha Westbrooke and Kimberley Meagher as part of the ongoing Heritage Advisory services provided by HLCD Pty Ltd.

Building: Formerly known as Gwenup
and Walthamstow

Address: 21 Albany Crescent, Surrey
Hills

Melway Map Ref: 46 J11

Building Type: House

Construction Date: c. 1887

Architect:

Builder:



History

A large area of land bounded by Mont Albert, Canterbury, Warrigal and Elgar Roads was purchased by the Freehold Banking and Investment Company to establish the Windsor Park Estate. Sir Matthew Davies, the founder of the Freehold Banking and Investment Co. was later convicted for his part in a financial scandal when the company went into liquidation just three months after posting an eight percent dividend.¹ However, this was not before auctioneers Fraser and Co. sold the land from the Windsor Park Estate during the land boom at two main auctions. The first release took place on the 1st of December, 1883 whilst the second auction occurred on the 22nd of December 1883.² Subject site 21 Albany Ave was part of the second release; allotment 86 in section A of the Windsor Park Estate.

Rather than just subdividing the land for sale, the Freehold Banking and Investment Co. designed an elaborate marketing campaign in conjunction with extensive suburb development to encourage speculators to purchase the subdivided blocks. The campaign included opening the Surrey Hills Railway station, building a lookout tower, establishing tree-lined avenues and

¹Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

²Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished, City of Whitehorse.

constructing sample houses and villas to create a vision of the suburb. Other incentives included free rail passes, monetary bonuses for building within a year³ and promising slogans declaring that, "The Royal Name and the Charms of the Estate will make you a Royal Fortune".⁴

J H Scott is listed in the rate books as the owner of the subject site in the Windsor Park Estate in 1884. Three years later a house was recorded on the site and the land value increased from the initial rate of two pounds. In 1888, the allotment was subdivided by Scott into two parts; one contained a brick house with seven rooms and the other, a wooden house. Scott remained the owner of both lots and leased out the wooden house to Oscar Arthur (Contractor) during 1888-1889, whilst he remained in the brick house. By 1890, the brick residence was leased to William Hirst (Brick maker) whilst Scott was listed as the occupier of the wooden house. Between 1893 and 1897 the Metropolitan Permanent Building Society (also known as the Metropolitan Permanent Building and Investment Society) was rated as the owner / occupier. J H Scott was still connected to the property as his name appeared alongside the Building Society in the rate books.

A new tenant, Mrs Edith Billing occupied the brick residence in 1897 before James Board of Mornington, purchased the property in 1898. Mrs Billing was the widow of William Billing, an architect and councillor of the Nunawading Shire during 1896-1910.⁵ Board continued to lease the property to Billing who remained until 1899. The house was then leased out to a number of tenants including John Richards, (Station Master) who occupied the property from 1910 – 1920, Amy and Richard Ritter and Alfred Whitford. The property was known as both Walthamstow (as listed in Sands and MacDougall directory)⁶ and Gwenup (MMBW plan).⁷ When John Richards was living at this address, he was injured by armed bandits whilst on duty as a Station Master in 1920.⁸

In 1918, Arthur John Zeplin of Bedford Road, Surrey Hills purchased the property from the estate of the late James Board.⁹ Arthur John was the youngest son of Thomas and Louisa Zeplin. Thomas was a Professor of Music whilst Arthur was a professional musician specialising in violin and viola.¹⁰ Arthur's father Thomas, considered to be Surrey Hills' earliest musician also lived in Bedford Road. Thomas was an organist at Mont Albert's Anglican Church in 1887 and the family remained involved with the musical program at the Church until 1910.¹¹

Description

This is a Victorian brick cottage with a hip roof at the front and a double hip behind running perpendicular to the front hip. The roof is clad in slate and there are brick dentils under the eaves. The elevation facing the street has symmetrically placed single timber framed double hung windows. Shutters to the windows are unlikely to be original. It appears that the building originally had a verandah to the front but there is currently no verandah. Entry to the residence is on the side of the building. The brickwork has been painted and it is likely that the brickwork underneath the paint is bi-chrome.

³Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

⁴History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, History Nook, Surrey Hills, first published Nov 1983, reprinted April 2001, p.9.

⁵History Group, Surrey Hills *Walkabout Notes No.1*, unpublished manuscript, date unknown.

⁶*Sands and MacDougall* Directory, 1909.

⁷MMBW detail plan 1:1600, Series no. 2240.

⁸History Group, op.cit., *Walkabout Notes*,

⁹Rate books. 1883-1935.

¹⁰Arthur Copeland, *First Families 2001 Details*, National Library of Australia, <www.nla.gov.au>

¹¹History Group, op.cit., *Surrey Hills In Celebration of the Centennial 1883-1983*, p.45.

Comparative Examples

The following properties constructed in the 1880s in the Windsor Park Estate area are already included in the Heritage Overlay:

38 Albany Crescent, The Hawthorns – 1888
14 Balmoral Crescent, Callignee – 1889
18 Balmoral Crescent, Marminta – 1889
8 Valonia Avenue, Avonlea – 1888
8 Windsor Crescent – c.1888
16 Windsor Crescent, Galtee More – 1885
17-21 Windsor Crescent, Camden, Ivy, Haryside – 1889

Constructed in c. 1887 “Gwenup” is one of a few houses in this area surviving from the earliest phase of establishment.

Significance

“Gwenup” is situated at 21 Albany Crescent, Surrey Hills and was built circa 1887 for J.H. Scott. It is historically and aesthetically significant.

It is historically significant (Criterion A) as one of the houses erected following the initial phase in the development of the Windsor Park Estate, thereby demonstrating its nineteenth century origins, which set the area apart today from the greater part of the Municipality. It is aesthetically significant (Criteria E) as a good example of an early brick cottage, demonstrating key attributes of the Victorian style including the slate clad hip roof, narrow timber framed double hung windows and brick dentil decoration below the eaves.

Building: Abergeldie

Address: 26 Albany Crescent, Surrey Hills

Melway Map Ref: 46 J11

Building Type: House

Construction Date: c. 1910

Architect:

Builder:



History

The Freehold Investment Banking Company was first established in 1882 by Sir Matthew Davies to specifically 'invest in landed property, both freehold and leasehold'. [sic]¹² The company's largest investment was in Surrey Hills.¹³ The area bounded by Mont Albert, Canterbury, Warrigal and Elgar Roads was used to establish the Windsor Park Estate. Rather than just subdividing the land for sale, the developers designed an elaborate marketing campaign in conjunction with extensive suburb development to encourage investors to purchase the subdivided blocks. The campaign included opening the Surrey Hills Railway station, building a lookout tower, establishing tree-lined avenues and constructing sample houses and villas to create a vision of the suburb. Other incentives included free rail passes, bonuses for building within a year¹⁴ and promising slogans stating, "The Royal Name and the Charms of the Estate will make you a Royal Fortune".¹⁵

¹²Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.318.

¹³Diane Sydenham, *Windows on Nunawading*, Hargreen Publishing, North Melbourne, 1990, p.81.

¹⁴Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

¹⁵History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, History Nook, first published Nov 1983, reprinted April 2001, p.9.

Sir Matthew Davies the founder of the Freehold Banking and Investment Co. was later found to be involved in financial scandal when his company went into liquidation just three months after posting an eight percent dividend.¹⁶ However, this was not before auctioneers Fraser and Co. sold the Windsor Park Estate land at two main auctions, on the 1st of December, 1883 and the second release took place on the 22nd of December 1883.¹⁷

Despite the extensive promotion, not all the properties were sold, and by the end of 1888 the boom era was virtually over. The Freehold Investment Banking Company Ltd was still rated as the owner of Allotment 72 in Section A of the Windsor Park Estate in 1893, which is the subject site of 26 Albany Crescent.¹⁸

Solicitors Charles H Tolhurst and Thomas Aspinall Edwards became the joint owners of the land from 1898 until 1909. Following the sale of the property to Charles Thomas Guilford, a house was built and leased to clergyman Charlston Brazier in 1910. Brazier was the vicar of Holy Trinity,¹⁹ which was located in Union Road, Surrey Hills.²⁰ The property value increased from six pounds to twenty six pounds following the construction of the weatherboard house. Guilford continued to lease the property until 1917. Alexander Fyfe (stationer) bought the property in 1918, and it was revalued to include a tool shed the same year. Later, the Pugh family resided at the property, Mrs Pugh was Mr Fyfe's daughter.²¹ The property originally consisted of a weatherboard house with seven rooms on land measuring 66 ft by 165 ft.²²

Description

This is a tall Federation weatherboard villa. It has a V shaped plan with a square entry and porch fitted into centre of the V. This type of diagonal floor and roof planning is characteristic of Federation residences. The roof consists of a series of connecting hip forms with gable roofs over the bays at either end of the V. The bays are square with double hung windows to three sides. The gable ends to the bay overhang the windows with timber brackets on the underside and terracotta shingles to the gable ends. The roof is clad in slate tiles. The balustrade to the verandah is of interest with a cut out timber plant motif to the moulded timber struts in between the verandah posts. The verandah posts have curved moulded timber brackets at the tops. There is an ocular window on the bay facing Albany Crescent with a leadlight window. The chimneys are red brick with decorative render moulding and terracotta pots at the top.

Comparative Examples

Other timber Federation villas in the Heritage Overlay are as follows:

695 Canterbury Road, Surrey Hills – 1908
3 Leopold Crescent, Dungarvan, Surrey Hills - 1907
10 Windsor Crescent, Surrey Hills – 1913
8 Alexandra Avenue, Surrey Hills – 1915
44 Husband Road, Forest Hill – 1911
17-21 Junction Road, Blackburn North, Harwood – 1910

There are relatively few weatherboard villas in the City of Whitehorse in the Heritage Overlay that demonstrate this period of architecture. The house at 26 Albany Crescent is a particularly expressive example of the style with some features not demonstrated by other examples.

¹⁶Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

¹⁷Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished, City of Whitehorse.

¹⁸Rate book 1893.

¹⁹History Group, *Surrey Hills Walkabout Notes No. 1*, unpublished manuscript, date unknown.

²⁰History Group, Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, first published Nov 1983, reprinted April 2001, p.26.

²¹History Group, op.cit., *Walkabout notes*.

²²Rate books 1898- 1935.

Significance

The late Federation period villa at 26 Albany Crescent, Surrey Hills was built in 1910 for Charles Thomas Guilford on land initially subdivided for the Windsor Park Estate of 1883. It is of aesthetic significance (Criteria E) as an excellent example of the late Federation style exhibiting the diagonal axis form and asymmetrical treatment characteristic of the Federation years. Also of note are the ocular windows, protruding bay windows and picturesque roof with slate cladding, terracotta ridging and slender chimneys.

Building:

Address: 14 Albert Crescent, Surrey Hills

Melway Map Ref: 46 J11

Building Type: House

Construction Date: c. 1926

Architect:

Builder:



History

A large area of land bounded by Mont Albert, Canterbury, Warrigal and Elgar Roads was purchased by the Freehold Banking and Investment Co. to establish the Windsor Park Estate. Sir Matthew Davies, the founder of the Freehold Banking and Investment Co. was later convicted for his part in a financial scandal when his company went into liquidation just three months after posting an eight percent dividend.²³ However, this was not before auctioneers Fraser and Co. sold the Windsor Park Estate land during the land boom at two main auctions, on the 1st of December 1883, whilst the second release took place on the 22nd of December 1883.²⁴

Rather than just subdividing the land for sale, the Freehold Banking and Investment Co. designed an elaborate marketing campaign in conjunction with extensive suburb development to encourage speculators to purchase the subdivided blocks. The campaign included opening the Surrey Hills Railway station, building a lookout tower, establishing tree-lined avenues and constructing sample houses and villas to create a vision of the suburb. Other incentives included free rail passes, monetary bonuses for building within a year²⁵ and promising slogans declaring that, "The Royal Name and the Charms of the Estate will make you a Royal

²³Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

²⁴Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished manuscript for the City of Whitehorse.

²⁵Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

Fortune".²⁶ The subject site at 14 Albert Crescent was part allotment 72 in section A of the Windsor Park Estate auctioned at the second release.

Initial owners of the land included F. Pearson (1883-1888), and Edward Dyer, a prominent Surrey Hills landholder and Nunawading Councillor (1888-1892).²⁷ Dyer was a major investor in the suburb of Surrey Hills purchasing many allotments at the auctions. Originally a secretarial manager of the Prince of Wales Hotel and later Scott's Hotel, Dyer was not only successful in land speculation, but also with race horses and prize winning poultry. In the 1888 edition of *Victoria and its Metropolis*, Dyer was commended as an important player in the neighbourhood progress that described the area as originally 'only a bush, is now the flourishing suburb of Surrey Hills'.²⁸

In 1893, the land was purchased by Frederick Augustus Rowden of 52 Kintore Road Hawthorn. Rowden held onto the property until 1910. During Rowden's ownership, there was no dwelling listed and the land measured 80ft by 135 ft.²⁹

Mary Ellen Anderson from Arian Park NSW acquired the land in 1919 before selling the property to J.R Rewell of "Finchley" in Neath Street, Surrey Hills in 1924. The land changed hands to Stanley Alfred Brownbill (bank official) in 1926, who built the first residence on the property that year. The property was rated as a brick residence with 5 rooms in 1927, increasing in value from 320 pounds to 1400 pounds.³⁰

The property retains its original length of 41.8metres (135ft) but the width of the property has decreased by four metres.

Description

This is a double fronted brick Californian Bungalow residence. The original main roof is a single gable running perpendicular to the street. There is a protruding wing extending from the front of the residence with a gable roof facing the street. The roof is clad in ceramic tiles and has wide eaves with exposed rafters. The verandah is adjacent to the protruding wing and extends beyond the wing. The verandah has double column supports extending from the brick balustrade. The brickwork has render dressings defining such features as lintels and capping to the verandah balustrade. This white painted render seen against the face red brick was known as blood and bone treatment, which was a typical decorative treatment of the period. The windows to the front of the residence are tripartite, double hung and timber framed.

There have been extensive later additions to the rear of this residence but they do not impact on the original appearance of the property from the street. The double garage to the side of the residence is a later addition.

Comparative Examples

The following properties are already individually listed in the Heritage Overlay and are better examples of the period of architecture demonstrated by the residence at 14 Albert Crescent.

22 St Johns Avenue, Surrey Hills, Hybla – 1930
36 Churchill Street, Mont Albert – 1927
42 Churchill Street, Mont Albert - 1925

There are also a large number of this type of building represented in the residential Heritage Overlay Precincts.

²⁶ History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, History Nook, first published Nov 1983, reprinted April 2001, p.9.

²⁷ Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.86

²⁸ Alexander Sutherland, *Victoria and its Metropolis: Past and Present* Vol.2, first published by McCarron, Bird and Co 1888, Today's Heritage, Melbourne reprinted 1977, p.581.

²⁹ Rate books 1893 -1919.

³⁰ Ibid. 1920-1935.

Significance

This property is not recommended for inclusion in the Heritage Overlay. This property does not demonstrate any particular historical aspects of the Windsor Park area and the building is not an unusual or particularly representative example of the Californian Bungalow style. There are examples of houses from this period already in the Heritage Overlay, which better represent this period of architecture. In particular these are located within the residential Heritage Overlay Precincts, and are not of individual significance but contribute to the significance of the precinct.

Building: Leuwin Hall

Address: 38 Albert Crescent,
Surrey Hills

Melway Map Ref: 46 K11

Building Type: House

Construction Date: c. 1912

Architect:

Builder:



History

A large area of land bounded by Mont Albert, Canterbury, Warrigal and Elgar Roads was purchased by the Freehold Banking and Investment Co. to establish the Windsor Park Estate. Sir Matthew Davies, the founder of the Freehold Banking and Investment Co. was later convicted for his part in a financial scandal when the company went into liquidation just three months after posting an eight percent dividend.³¹ However, this was not before auctioneers Fraser and Co. sold the land from the Windsor Park Estate during the land boom at two main auctions. The first release took place on the 1st of December, 1883 whilst the second auction occurred on the 22nd of December 1883.³² The subject site was part of the second release; allotment 79 in section A of the Windsor Park Estate.

Rather than just subdividing the land for sale, the Freehold Banking and Investment Co. designed an elaborate marketing campaign in conjunction with extensive suburb development

³¹Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

³²Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished, City of Whitehorse.

to encourage speculators to purchase the subdivided blocks. The campaign included opening the Surrey Hills Railway station, building a lookout tower, establishing tree-lined avenues and constructing sample houses and villas to create a vision of the suburb. Other incentives included free rail passes, monetary bonuses for building within a year³³ and promising slogans declaring that, "The Royal Name and the Charms of the Estate will make you a Royal Fortune".³⁴

Thomas Theophilus Draper, (contractor/electrician) owned the prominent conical shaped land located at 36- 38 Albert Crescent Surrey Hills from 1893 to 1918, after purchasing the site from William Henry Masters. In 1912, he built a brick house with six rooms on the large property, which measured 224 ft by 137 ft.

Draper sold the property to Abel Burton, who later sold to Edwin Burton in 1923, whilst Agnes Burton was listed as the tenant. However, in 1924 Elizabeth Burton purchased the site from Edwin and he became the tenant.

By 1926, Mrs Mary Crawford was the owner/occupier of the subject site, and leased the property out before selling to Miss Marjorie R Shaw in 1932.

The large property still retains its original size of 224 by 137 ft.³⁵

Description

Leuwin Hall is located on the eastern end curve of Albert Crescent. The residence is set well back from the street with a substantial front and side lawn and garden. The driveway entry is to the side of the property leading to car parking areas in front of side outbuildings. It is a brick Arts and Crafts style residence with a main gable roof and two gabled bays to the front. There is a central balcony constructed as a dormer in the main roof. Between the two gable bays is a front porch with flat roof supported on timber posts with brackets. Above the line of the porch roof the walls and gables are finished with roughcast render. There are also three centrally placed framed rectangular vents in the gable ends of each of the bays. The roof is clad in terracotta tiles with terracotta finials at the end of each gable. The chimneys have a slight curve and are finished with roughcast render and terracotta chimney pots.

The residence has had extensive later additions to the rear and side, which have had little impact on the main original building.

The front boundary fence is constructed of timber with narrow simple curved top timber pickets.

Comparative Examples

Other residences in the Windsor Park area of the same era and already included in the Heritage Overlay are as follows:

2 Albany Crescent, Emilla Villa - 1913

380 Mont Albert Road - 1912-13

12 St Johns Avenue, Wintersun – 1913-14

10 Windsor Crescent – 1913

16 Churchill Street, Mont Albert, Whitchurch – 1915

"Leuwin Hall" is distinctive in its styling and features compared with the above examples.

³³Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

³⁴History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, History Nook, Surrey Hills, first published Nov 1983, reprinted April 2001, p.9.

³⁵Rate books 1893-1935.

Significance

“Leuwin Hall” is situated at 38 Albert Crescent, Surrey Hills and was built circa 1912 for electrician, Thomas Theophilus Draper. It is aesthetically significant.

It is aesthetically significant (criterion E) as a classic Arts & Crafts influenced bungalow with the double gable form and symmetrical facade treatment in the manner of the Arts & Crafts movement of the time. Of particular note is the symmetrical arrangement of the bays with central porch and tapered chimneys at either end framing the front image of the residence. The materials, details and arrangement of elements together reinforce the impression of the Arts & Crafts style, which is enhanced by the mature garden setting and curved site location.

Building: Former Surrey Hills Fire
Station and Residences

Address: Units 1-3, 1 Balmoral
Crescent, Surrey Hills

Melway Map Ref: 46 J11

Building Type: Former Fire Station &
Residences

Construction Date: c. 1920

Architect:

Builder:



History

A large area of land bounded by Mont Albert, Canterbury, Warrigal and Elgar Roads was purchased by the Freehold Banking and Investment Co. to establish the Windsor Park Estate. Sir Matthew Davies, the founder of the Freehold Banking and Investment Co. was later convicted for his part in a financial scandal when his company went into liquidation just three months after posting an eight percent dividend.³⁶ However, this was not before auctioneers Fraser and Co. sold the land from the Windsor Park Estate during the land boom at two main auctions. The first release took place on the 1st of December 1883, whilst the second auction occurred on the 22nd of December 1883.³⁷

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The subject site 1 Balmoral Crescent was part allotment 107 in section A of the Windsor Park Estate that was auctioned in the second release. All lots between Valonia (formerly Victoria Ave) Avenue and Balmoral Crescent were sold at the auction.⁴⁰

Allotment 107 was originally owned by Biznull or Bizruto (writing illegible in directory) from 1883-1884, however, the rate books for the years 1885-1887 did not list an owner, and Arthur E Tankard (auctioneer) was listed as the owner in 1889.

The site was sold to Charles Richard Church (traveller) in 1904 by the executors of the estate of the late Arthur Tankard. The subject site measured 66 ft by 165 ft and remained a vacant lot during Church's ownership. Church sold the land to the Metropolitan Fire Brigade Board of Eastern Hill in 1919 and the rate books noted that it was to be re-valued as a Fire Station.⁴¹

The new fire station in Balmoral Crescent replaced the original fire station located in Russell Street Surrey Hills, which had been in use since 1893.⁴² The design of the new fire station was typical for the era and the change in design reflects the fire transport progress from horse and cart to motor vehicle. The architectural design of the Surrey Hills building shares similar motifs and design with the Glenhuntly and Abbotsford fire stations, also built at a similar time. The Surrey Hills fire station was in the 'C' district and known as No.21.⁴³

In 1920, it was valued and rated as one brick building with 14 rooms before being separated into three parts and rated the following year and thereafter as: two brick buildings with five rooms and one brick building with four rooms.

The Metropolitan Fire Brigade used the smallest of the properties whilst firemen inhabited the two other residences. Whilst the occupants changed over the years the property remained in Fire Brigade ownership.⁴⁴

³⁶Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

³⁷Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished, City of Whitehorse.

³⁸Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

³⁹History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, History Nook, Surrey Hills, first published Nov 1983, reprinted April 2001, p.9.

⁴⁰Ward, op.cit.

⁴¹Rate books, 1893-1918, 1919.

⁴²History Group, Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, first published Nov 1983, reprinted April 2001, p.33.

⁴³Sally Wilde, *Life under the bells: a history of the Metropolitan Fire Brigade, Melbourne 1891- 1991*, Longman Cheshire, Melbourne, 1991, p.109.

⁴⁴Rate books 1919-1935



The Fire Station at 1 Balmoral Crescent c. 1930

Source: *Surrey Hills In Celebration of the Centennial 1883-1983*

Description

This red brick building incorporates a fire station (no longer in use) and residences either side. It has a long elevation extending along Balmoral Crescent. The office and residential wings, which sit either side of the garage, are shielded from the street by a tall hedge, with generally only the roof visible. They are of simple red brick construction with a combination of gable and hip roofs clad in terracotta tiles. The garage, which extends beyond the main line of the remainder of the building has a large opening with a rendered brick surround including a gabled parapet. The parapet has a central fire brigade coat of arms in raised render work with Metropolitan Fire Brigade in raised render lettering below this. The garage for the fire engine has been partially filled in but this is set back from the front opening, so the original garage is still clearly distinguishable. The original central pillar to the garage (seen in the photograph above) has been removed. The chimneys along the rooftop are tapered face red brick.

The building is now separated into three residential units.

Comparative Examples

There are no other examples of early fire stations included in the Whitehorse Heritage Overlay. The earlier Surrey Hills Fire Station located in Russell Street no longer exists. The Box Hill Fire Station, Whitehorse Road Box Hill, c. 1940 is later than the Surrey Hills Fire Station. It is not currently included in the Heritage Overlay but has been identified as being of potential significance.

Significance

The former Surrey Hills Fire Station and Residences building is situated at 1 Balmoral Crescent, Surrey Hills and was built circa 1920. It is historically and aesthetically significant.

The former Surrey Hills Fire Station & Residences building is of historical importance as a former important civic building in the Surrey Hills area (criterion A). It is historically and aesthetically significant as a particularly intact Metropolitan Fire Brigade building demonstrating the key attributes of the standard design of a MFB building in the 1920s (criteria D & E). It is also aesthetically significant as an intact and picturesque example of a 1920s civic building with its face red brick walls, tapered chimneys and render dressings to the garage openings (criterion E).

Building: Former Service Station

Address: 683 Canterbury Road,
Surrey Hills

Melway Map Ref: 46 J11

Building Type: Former Service Station

Construction Date: c.1931

Architect:

Builder:



History

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Rather than just subdividing the land for sale, the Freehold Banking and Investment Co. designed an elaborate marketing campaign in conjunction with extensive suburb development to encourage speculators to purchase the subdivided blocks. The campaign included opening the Surrey Hills Railway station, building a lookout tower, establishing tree-lined avenues and constructing sample houses and villas to create a vision of the suburb. Other incentives included free rail passes, monetary bonuses for building within a year⁴⁷ and promising

⁴⁵Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

⁴⁶Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished, City of Whitehorse.

⁴⁷Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

slogans declaring that, "The Royal Name and the Charms of the Estate will make you a Royal Fortune".⁴⁸

The subject site, 683 Canterbury Road was part allotment 102 and 103 in section A of the Windsor Park Estate that was part of the second release. All lots between Valonia (formerly Victoria Ave) Avenue and Balmoral Crescent were sold at the auction.⁴⁹

The English Scottish and Australia Bank (ES&A) was rated as the owner of this site from 1898 to 1908 before Alfred Ardley of 714 Lygon Street Carlton acquired the land. It remained a vacant block under Ardley's ownership, before Edward Maddocks purchased the site in 1911. The original allotment measured 132 by 165 ft, of which Maddocks subdivided into three parts in 1914. Maddocks remained the owner of all three parts each measuring 50ft by 132ft, 71ft by 132ft and 44ft by 132ft respectively. Maddocks a builder by trade built a timber residence on the 44ft property, which was leased, to Charles Henry Breeden. The following year in 1915 another timber residence was built on the 50ft property, which was then leased, to David Roger Williams. The larger parcel of land (subject site) facing Canterbury Road remained vacant and undeveloped.⁵⁰

Maddocks remained the owner of the undeveloped site, part allotment 102/103 until 1931, when Matthew Bowen bought the site with Miss Gladys Bowen. It wasn't until the early 1930s that proprietors Bowen and Archibald Cleary built a garage, which increased the net value of the site from 360 pounds to 1500 pounds.

By the 1950s the garage was known as Valonia Motors and in 1983 the building was converted into a restaurant.⁵¹

Description

The garage is a brick and cement render structure located on the corner of Valonia Avenue and Canterbury Road. The body of the garage is located back from the corner and angled to create a drive through from both streets and utilising the colonnade to delineate the inner weather protected court from the unsheltered zone. The building is designed in the Spanish Mission style with characteristic features such as the colonnade (using twisted posts) and shaped parapet capped with Marseille tiles. The colonnade serves as a convenient zone in which to locate equipment and bowsers.

The garage no longer operates and all services, equipment and signage have since been removed. Only the location and layout of the building with its drive through canopy provide clues to the former purpose for the site. The rear of the building has been altered where the workshop area was previously housed in a corrugated iron and brick structure. This area is now an open car park.

Comparative Examples

The former Bowen and Cleary Motor Garage is an interesting and near intact example of a drive in garage designed in Spanish Mission style. This West coast American style was popularly employed over a range of building types, and was particularly favoured by motor trade architecture of the inter-war period. One of the first and perhaps the most outstanding trendsetter to adopt this style was the former Kellow - Falkiner Showrooms at 379 St Kilda Road, South Yarra (1929). A simplified though no less refined version survives in the showrooms of Parkers' Motors in Colac (circa 1935). An outstanding expression of this architecture in a motor garage that still continues to operate as such can be seen in B & G (Wilson's) Motors, Beaufort (1933), while an earlier and much simplified example is found in

⁴⁸History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, History Nook, Surrey Hills, first published Nov 1983, reprinted April 2001, p.9.

⁴⁹Ibid.

⁵⁰Rate books, 1898-1935

⁵¹Catrice, D. and Summerton, M. *The Motor Garage & Service Station in Victoria: A Survey*, National Estates Grants Programme report prepared for Heritage Victoria, Ref No. 25, 1997, pp.143-145.

the former Town Hall Motors, 126 Carlisle Street, East St Kilda (1927). Although many motor garages were originally designed in the Spanish mode, very few retain these features today.⁵²

There are no other Service Stations or examples of Spanish Mission style architecture individually listed in the Whitehorse Heritage Overlay.

Significance

The former Bowen and Cleary Motor Garage is located at 683 Whitehorse Road, Surrey Hills and was built circa 1931. It is historically and aesthetically significant.

The former Bowen and Cleary motor garage is of historical importance (criterion A) as an intact motor garage from the 1930s demonstrating the Spanish Mission style popular in motor trade architecture during the late 1920s and 1930s. The intact drive through canopy clearly demonstrates the building's former use as a service station. It is aesthetically (criterion E) significant as an intact example of a Spanish Mission style demonstrating key attributes of the style including the colonnade (using twisted posts) and shaped parapet capped with Marseille tiles. It is also a local landmark positioned diagonally on a corner site and with its colonnade drive through canopy.

⁵² Ibid.

Building:

Address: 12 Louise Avenue, Surrey Hills

Melway Map Ref: 46 K10

Building Type: House

Construction Date: c. 1917

Architect:

Builder:



History

A large area of land bounded by Mont Albert, Canterbury, Warrigal and Elgar Roads was purchased by the Freehold Banking and Investment Co. to establish the Windsor Park Estate. Rather than just subdividing the land for sale, the developers designed an elaborate marketing campaign in conjunction with extensive suburb development to encourage investors to purchase the subdivided blocks. The campaign included opening the Surrey Hills Railway station, building a lookout tower, establishing tree-lined avenues and constructing sample houses and villas to create a vision of the suburb. Other incentives included free rail passes, bonuses for building within a year⁵³ and promising slogans stating, "The Royal Name and the Charms of the Estate will make you a Royal Fortune".⁵⁴

Sir Matthew Davies the founder of the Freehold Banking and Investment Co. was later found to be involved in a financial scandal when his company went into liquidation just three months

⁵³Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

⁵⁴History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, History Nook, first published Nov 1983, reprinted April 2001, p.9.

after posting an eight percent dividend.⁵⁵ However this was not before auctioneers Fraser and Co. sold the Windsor Park Estate at two main auctions, on the 1st of December, 1883 and the second release occurred on the 22nd of December 1883.⁵⁶ The subject site 12 Louise Avenue was part of a later subdivision of the Windsor Park Estate, surveyed by Thomas B. Muntz in 1884.⁵⁷ The area was bounded by Mont Albert Road, Windsor and Leopold Crescents and St Georges Avenue spanning lots 161 to 205.⁵⁸ The subject site 12 Louise Avenue, was part allotment 190 and 191 in section A of the Windsor Park Estate.

Edward Dyer, a well known financier in Melbourne and Nunawading Councillor, owned a number of sites in the Windsor Park Estate purchased during the boom years.⁵⁹ Originally a secretarial manager of the Prince of Wales Hotel and later Scott's Hotel, Dyer was not only successful in land speculation, but also with race horses and prize winning poultry. In the 1888 edition of *Victoria and its Metropolis*, Dyer was commended as an important player in the neighbourhood progress that described the area as originally 'only a bush, is now the flourishing suburb of Surrey Hills'.⁶⁰ He was listed as the owner of allotment part 191 in 1888. From 1890 to 1893 Arthur Daly (solicitor) is listed as the owner for both 190 and 191. The Union Bank of Australia was listed along with Daly for the years 1896-1900.⁶¹

John Richard Kefford, the Shire Secretary and Town Clerk for the Shire of Box Hill (1896-1927)⁶² purchased the subject site 12 Louise Avenue, from the Union Bank of Australia in 1906. In 1910, the allotment was subdivided into two lots by Kefford; part 190 being the subject site of number 12 Louise Ave and part 191 became number 16 Louise Avenue. Part 191 was sold to George Marfleet (engineer), which included a newly built wooden house in 1911. Kefford then sold his portion of the original allotment (part 190) measuring 66 by 150 ft to Mrs Maria Jane Belyca in 1913.⁶³

In 1915, Belyca sold the land to Mrs Maud Elizabeth Colliver who had a brick residence constructed in 1917. A note was made on the rate book in 1918 that Mrs Colliver had 16 ft of part 191. Colliver sold to John Andrew Paterson in 1920 and by 1923 Alexander William Huntley Gordon (accountant) became the owner/occupier. The house was rated for seven rooms in 1926 before an extension increased it to eight rooms in 1930. Gordon was still the owner in 1935.⁶⁴

Description

This is a large two storey Arts & Crafts style bungalow. It has a large single gable parallel to Louise Avenue, which encloses most of the floor plan of the house. Intersecting this is a large gable facing Louise Avenue which encloses the front central wing of the house. The gables incorporate the upper floor to the residence so it appears as single storey except for the presence of windows in the gable ends. The front gabled wing almost extends across the length of the house and includes two symmetrically placed bay windows with a skillion canopy extending across the top of both bays. The canopy as well as the roof is clad in terracotta tiles with terracotta finials at each gable end. The entry to the residence is to the side of the main gable bay. The gable ends are rendered above the transom window height and there is render banding at window sill level. The chimneys are tapered and rendered with terracotta chimney pots.

⁵⁵Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

⁵⁶Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished, City of Whitehorse.

⁵⁷Ibid.

⁵⁸Ibid.

⁵⁹Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.84, 86.

⁶⁰Alexander Sutherland, *Victoria and its Metropolis: Past and Present*, Vol.2, first published by McCarron, Bird and Co 1888, Today's Heritage, Melbourne reprinted 1977, p.581.

⁶¹Rate books 1888-1900.

⁶²Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.155-156.

⁶³Rate book 1898 -1913.

⁶⁴Ibid., 1914 -1935

The property has a low face red brick fence to Louise Avenue with lawn areas between the fence and residence.

Comparative Examples

Other residences in the Windsor Park area of the same era and already included in the Heritage Overlay are as follows:

2 Albany Crescent, Emilla Villa - 1913
380 Mont Albert Road - 1912-13
13 St James Avenue – 1914
12 St Johns Avenue, Wintersun – 1913-14
10 Windsor Crescent – 1913

In comparison with the above examples the residence at 12 Louise Avenue is distinctively different in appearance and is an excellent example of the style of architecture used between 1910 and 1920.

Significance

The residence situated at 12 Louise Avenue, Surrey Hills was built circa 1917 for Mrs Maud Elizabeth Colliver. It is aesthetically significant.

It is aesthetically significant (criterion E) as a substantial and distinctive bungalow style residence with its imposing roof form clad in terra cotta tiles and combined use of render finish with face brick to the walls. The materials, details and arrangement of elements together reinforce the impression of the Arts & Crafts style, which is enhanced by the front garden setting and low brick fence to Louise Avenue.

Building:

Address: 12 St. Georges Avenue,
Surrey Hills

Melway Map Ref: 46 K10

Building Type: House

Construction Date: c. 1914

Architect:

Builder:



History

A large area of land bounded by Mont Albert, Canterbury, Warrigal and Elgar Roads was purchased by the Freehold Banking and Investment Co. to establish the Windsor Park Estate. Rather than just subdividing the land for sale, the developers designed an elaborate marketing campaign in conjunction with extensive suburb development to encourage investors to purchase the subdivided blocks. The campaign included opening the Surrey Hills Railway station, building a lookout tower, establishing tree-lined avenues and constructing sample houses and villas to create a vision of the suburb. Other incentives included free rail passes, bonuses for building within a year⁶⁵ and promising slogans stating, "The Royal Name and the Charms of the Estate will make you a Royal Fortune".⁶⁶

Sir Matthew Davies the founder of the Freehold Banking and Investment Co. was later found to be part of a financial scandal when his company went into liquidation just three months after posting an 8 percent dividend.⁶⁷ However, not before auctioneers Fraser and Co. sold the Windsor Park Estate at two main auctions, on the 1st of December 1883, and the second release occurred on the 22nd of December 1883.⁶⁸ The subject site 12 St. Georges Avenue

⁶⁵Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

⁶⁶History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, History Nook, first published Nov 1983, reprinted April 2001, p.9.

⁶⁷Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

⁶⁸Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished, City of Whitehorse.

was allotment 19 in section B, part of a later subdivision of the Windsor Park Estate surveyed by Thomas B. Muntz. The area east of St Georges Avenue was subdivided into 170 lots eventually selling by 1888.⁶⁹

Mrs Marion Frances Dyer is listed in the rate book as the owner of a large allotment of land in St Georges Avenue in 1893. The land was originally under the name of Mrs E D Dyer in 1888 and later as Mrs Fanny Dyer. Dyer's husband, Mr E D (Edward) Dyer was a well known financier in Melbourne and owned a number of sites in the Windsor Park Estate purchased during the boom years.⁷⁰ He was originally a secretarial manager of the Prince of Wales Hotel and later Scott's Hotel. Dyer was not only successful in land speculation, but also with race horses and prize winning poultry. In the 1888 edition of *Victoria and its Metropolis*, Dyer was commended as an important player in the neighbourhood progress that described the area as originally 'only a bush, is now the flourishing suburb of Surrey Hills'.⁷¹ The subject site initially measured 216 ft by 145 ft.⁷²

In 1913, Mrs Dyer subdivided the site into three equal sites measuring 72 by 145 ft. At the same time, Dyer sold all three parcels of land with lot 19 going to Bertram Vincent Jones, lot 21 to James Russell and lot 22 to Edward Thompson. The new owner of the subject site, 12 St Georges Avenue (lot 19), promptly had a timber house constructed containing 6 rooms the following year, and the property was revalued from 5 to 40 pounds. Jones remained the owner/occupier of the site until 1918. Following the sale of the property to Hannah Helena Hooke, it was leased for a number of years before Hooke moved in herself to become owner/occupier in 1924. The property was then leased again by the estate of the late H.Hooke from 1930 before being sold to William Kerry in 1935.⁷³

Description

This is a combined weatherboard and rendered panel residence. The residence is elevated from the street with a rock retaining wall at the front of the property with a horizontal timber and cyclone wire fence. It has a large single hip roof, which encompasses most of the floor area of the residence above this. The building has a return verandah, which is also enclosed under the main roof. It terminates on the west side with a gabled single room bay. There are weatherboards up to window sill level and above this the walls are rendered. The windows are tripartite and timber framed.

Comparative Examples

Other residences in the Windsor Park area of the same era and already included in the Heritage Overlay are as follows:

2 Albany Crescent, Emilla Villa - 1913
380 Mont Albert Road - 1912-13
13 St James Avenue – 1914
12 St Johns Avenue, Wintersun – 1913-14
10 Windsor Crescent – 1913

Significance

Not recommended for inclusion in the Heritage Overlay. This property does not demonstrate any particular historical aspects of the Windsor park area and the building is not a representative or good example of a particular style. There are examples of this period of house already in the Heritage Overlay, which better represent this period of architecture.

⁶⁹Ibid.

⁷⁰Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.84, 86.

⁷¹Alexander Sutherland, *Victoria and its Metropolis: Past and Present*, Vol.2, first published by McCarron, Bird and Co 1888, Today's Heritage, Melbourne reprinted 1977, p.581.

⁷²Rate Books 1888-1913.

⁷³Rate Books 1914-1935.

Building: Malverna

Address: 19 St. Johns Avenue, Mont
Albert

Melway Map Ref: 46 K10

Building Type: House

Construction Date: c. 1907

Architect:

Builder:



History

A large area of land bounded by Mont Albert, Canterbury, Warrigal and Elgar Roads was purchased by the Freehold Banking and Investment Co. to establish the Windsor Park Estate. Rather than just subdividing the land for sale, the developers designed an elaborate marketing campaign in conjunction with extensive suburb development to encourage investors to purchase the subdivided blocks. The campaign included opening the Surrey Hills Railway station, building a lookout tower, establishing tree-lined avenues and constructing sample houses and villas to create a vision of the suburb. Other incentives included free rail passes, bonuses for building within a year⁷⁴ and promising slogans stating, "The Royal Name and the Charms of the Estate will make you a Royal Fortune".⁷⁵

Sir Matthew Davies the founder of the Freehold Banking and Investment Co. was later found to be involved in a financial scandal when his company went into liquidation just three months after posting an eight percent dividend.⁷⁶ However, not before auctioneers Fraser and Co. sold the Windsor Park Estate at two main auctions, one on the 1st of December, 1883 and

⁷⁴Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

⁷⁵History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, first published Nov 1983, reprinted April 2001, p.9.

⁷⁶Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

the second release occurred on the 22nd of December 1883.⁷⁷ The subject site 19 St Johns Avenue was part allotment 8 in section B of the Windsor Park Estate and a later subdivision of the Windsor Park Estate surveyed by Thomas B. Muntz. The area east of St Georges Avenue was subdivided into 170 lots eventually selling by 1888.⁷⁸

T.P Brett was listed in the rate book as the owner of the land in 1898. In 1902 the land was subdivided into lots 5-8 and lot 8 was purchased by Kate Alice Frogley of 124 Chatsworth Road, Prahran. The property measured 72ft by 145ft. Frogley remained the owner of the site until 1936.

A weatherboard house was constructed in 1907 and contained eight rooms. In 1910, the first tenant rated was likely to be a relative of Frogley's, Nicholas Walter Frogley (architect) who remained until 1915. In 1917, Frogley leased the house to farmer Henry Blatchley until 1920. Kate Frogley became the owner/occupier temporarily in 1920, before the property was leased to a number of other tenants, including George Walters (railway employee) who leased the property from 1930-1936.⁷⁹

The property name was listed on the Melbourne Metropolitan Board of Works plan as *Malverna* however the property name was not used in the rate books or the *Sands and MacDougall* directory.⁸⁰

Description

This is a single storey weatherboard residence constructed in the Queen Anne style. The tall and narrow double hung windows as well as the delicate verandah posts and frieze indicate the Queen Anne style, while the terracotta tile clad gambrel and gable roof with terracotta ridge capping indicate the Federation style. The borders around the windows to the main section of the house are of interest with their shaped profile. The verandah at the rear of the house has been enclosed but this is not visible from the street.

There is no front fence to the front of the property, but an archway entry, which is not contemporary with the house.

Comparative Examples

Other residences in the Windsor Park area of the same era and already included in the Heritage Overlay are as follows:

15 Albany Crescent, Newnham - 1903
30 Albany Crescent, Bencairn - 1901
695 Canterbury Road – 1908
3 Leopold Crescent, Dungarvan - 1907
22 Windsor Crescent, Roscrea – 1907
54 Windsor Crescent, Waverley – 1905

In comparison with the above examples "Malerna" has a distinctive appearance, which sets it apart aesthetically from the others.

⁷⁷Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished manuscript for the City of Whitehorse.

⁷⁸Ibid.

⁷⁹Rate Books 1898-1935

⁸⁰*Sands and MacDougall* Directory, 1906-1915; MMBW detail plan 1:1600, Series no. 2243.

Significance

“Malverna” is situated at 19 St Johns Avenue, Mont Albert and was built circa 1907 for Kate Allison Frogley. It is aesthetically significant.

It is aesthetically significant (criterion E) as a distinctive picturesque residence in the Queen Anne style. The combination of the tall gambrel roof form, delicate timber verandah detailing, and unusual decorative timber window frames and bargeboard enhances the appearance of this residence and sets it apart from other houses of the period within the municipality.

Building: Springfield

Address: 12 Windsor Crescent, Surrey Hills **Melway Map Ref:** 46 J11

Building Type: House

Construction Date: c. 1889

Architect:

Builder:



History

The Freehold Investment Banking Company was first established in 1882 by Sir Matthew Davies to specifically 'invest in landed property, both freehold and leasehold'. [sic]⁸¹ The company's largest investment of land was in Surrey Hills.⁸² The area bounded by Mont Albert, Canterbury, Warrigal and Elgar Roads was used to establish the Windsor Park Estate. Rather than just subdividing the land for sale, the developers designed an elaborate marketing campaign in conjunction with extensive suburb development to encourage investors to purchase the subdivided blocks. The campaign included opening the Surrey Hills Railway station, building a lookout tower, establishing tree-lined avenues and constructing sample houses and villas to create a vision of the suburb. Other incentives included free rail passes, bonuses for building within a year⁸³ and promising slogans stating, "The Royal Name and the Charms of the Estate will make you a Royal Fortune".⁸⁴

Sir Matthew Davies was later found to be involved in financial scandal when his company went into liquidation just three months after posting an eight percent dividend.⁸⁵ However, not before auctioneers Fraser and Co. sold the Windsor Park Estate at two main auctions, on the 1st of December 1883 and the second release occurring on the 22nd of December 1883.⁸⁶ The second release of land included the subject site 12 Windsor Avenue, which was part of a 50 lot auction.⁸⁷

The land at the junction of Windsor and Albany Crescents was first owned by A F McNaughton (lot 62) and F Pearson (lot 63) as listed in the rate book in 1883/84.⁸⁸ By 1885, Charles Hetherington (gentleman) had purchased lot 63 with two street frontages and later acquired lot 62 by 1888. A timber house was listed in the rate book from 1889, which increased the land value from 2 to 65 pounds. Charles Hetherington continued as the owner/occupier until 1899. In 1900 he was listed as the tenant and W G Stephens the owner of the property.⁸⁹ The property known as "Springfield" contained outbuildings as detailed on Melbourne Metropolitan Board of Works plans.⁹⁰

John McNicol, whose occupation was listed both as a squatter and gentleman in various years in the rate books, was the occupier/owner of "Springfield" until 1929. By this time the house had been extended to contain eight rooms. Mrs Alice McKinnon purchased the property and leased it out to Austin Cousens in the 1930s.⁹¹

Description

This is a double fronted weatherboard Victorian residence located on a prominent corner site in the Windsor Park Estate. The M-shaped hip roof is clad in slate and below the eaves is decorative timberwork typical of a late Victorian residence. The chimneys are shaped rendered brick. The verandah across the front of the residence (facing the corner) has iron lacework. The front elevation is symmetrical with a central door and double hung windows either side. Originally the residence would have had a square floor. This original section of the house still exists and MMBW plans indicate an early (or original) side wing to the south. There has been an upper storey addition to this side wing incorporating a tower made. This addition has minimal impact on the roof form of the main section of the original residence, as the roof to the addition is independent of the original M-shaped roof. The south wing upper storey

⁸¹ Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.318.

⁸² Diane Sydenham, *Windows on Nunawading*, Hargreen Publishing, North Melbourne, 1990, p.81.

⁸³ Andrew Lemon, *Box Hill*, Lothian, Melbourne, 1978, p.74.

⁸⁴ History Group Surrey Hills, *Surrey Hills In Celebration of the Centennial 1883-1983*, History Nook, first published Nov 1983, reprinted April 2001, p.9.

⁸⁵ Michael Cannon, *Land Boom and Bust*, Heritage Publications, Melbourne, 1972, p.28.

⁸⁶ Andrew Ward, *Whitehorse Heritage Review, 2001, Building Citations*, Vol.2, unpublished manuscript for the City of Whitehorse.

⁸⁷ Ibid.

⁸⁸ Rate book 1883-1885

⁸⁹ Ibid., 1883-1900

⁹⁰ MMBW detail plan 1:1600, Series no. 2242.

⁹¹ Ibid., 1901-1935.

addition is set back from the front of the residence, so the original single storey form of the house is dominant in views from the corner. The house's prominent location in the Windsor Park Estate, slate roof, window style and chimney detailing demonstrate the early construction date of the residence.

Comparative Examples

Other late 1880s and early 1890s residences within the Windsor Park area already included in the Heritage Overlay are as follows:

38 Albany Crescent, The Hawthorns – 1888
14 Balmoral Crescent, Callignee – 1889
18 Balmoral Crescent, Marminta – 1889
8 Louise Avenue – 1890
8 Valonia Avenue, Avonlea – 1888
8 Windsor Crescent – c.1888
17-21 Windsor Crescent, Camden, Ivy, Haryside – 1889
53 Windsor Crescent – 1891

“Springfield” is one of a few surviving houses in the area which demonstrate the early establishment of the Windsor Park Estate. The property is also set apart by its prominent location.

Significance

“Springfield” is situated at 12 Windsor Crescent, Surrey Hills and was built circa 1889 for Charles Hetherington. It is historically and aesthetically significant.

It is historically significant (Criterion A) as one of the houses erected following the initial phase in the development of the Windsor Park Estate, thereby demonstrating its nineteenth century origins, which set the area apart today from the greater part of the Municipality. It is aesthetically significant (Criteria E) as a good example of an early timber villa, demonstrating key attributes of the Victorian style including the hipped slate clad roof, timber detailing below the eaves and rendered Victorian style chimneys.

Building:

Address: 32 High Street

Melway Map Ref: J10

Building Type: House

Construction Date

Architect:

Builder:



Assessment

The residence at 32 High Street, Mont Albert is a substantial weatherboard Californian Bungalow. It demonstrates key characteristics of the Bungalow style with its combination of rendered front porch and weatherboard construction of the main house, dominant hip and gable roof form clad in ceramic tiles, tripartite long windows and rendered chimneys.

With these attributes, the residence at 32 High Street is worthy of inclusion in the Mont Albert Residential Heritage Overlay Precinct. The style and age of the building is consistent with the description for the precinct. It is as good as adjacent Californian Bungalows that are already included in the Precinct and is a particularly intact example of the style. As a result it complies with the following Statement of Significance for the Mont Albert Residential Heritage Overlay Precinct and is worthy of inclusion in the precinct.

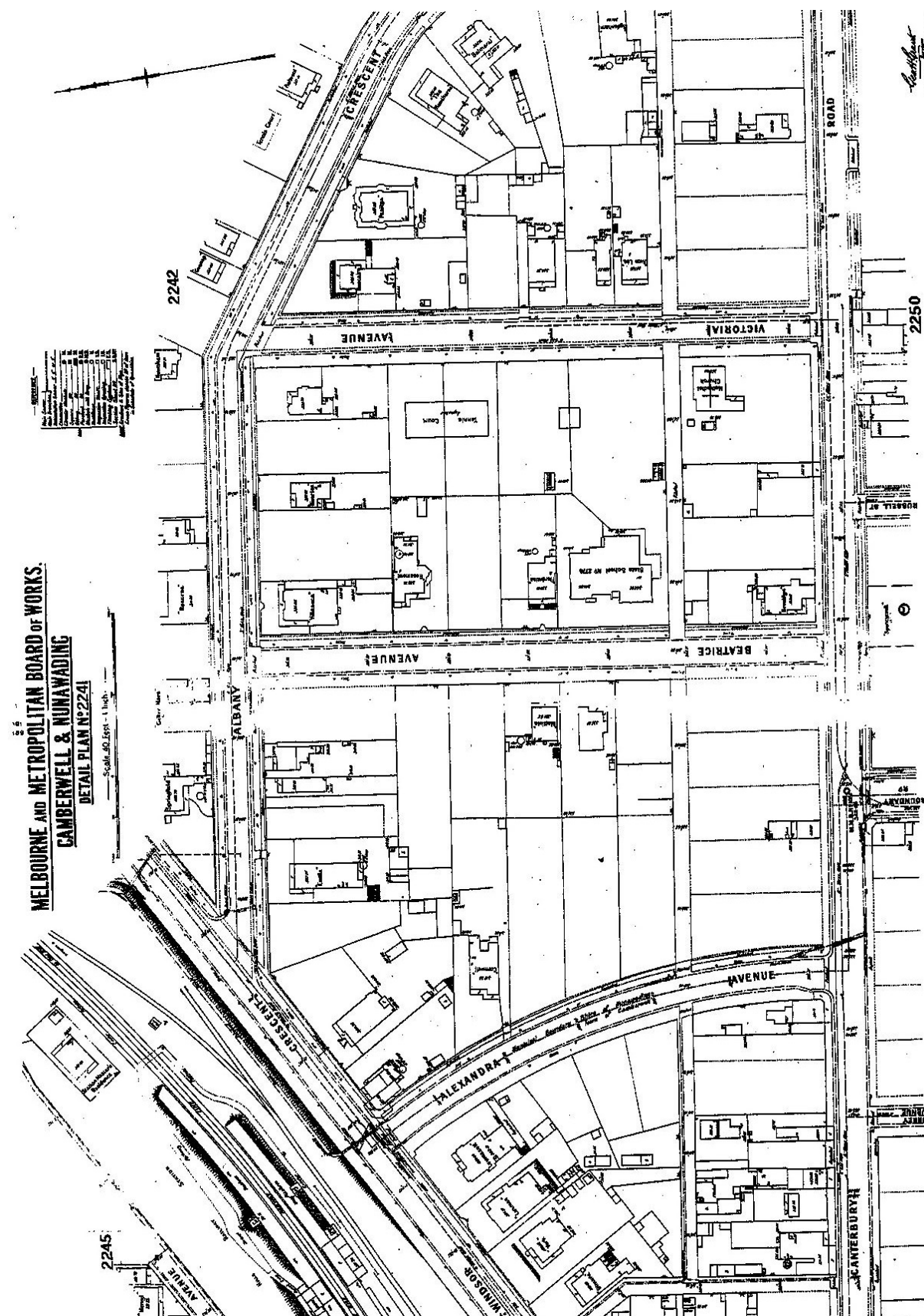
The Mont Albert Residential Precinct is of considerable aesthetic and historic significance.

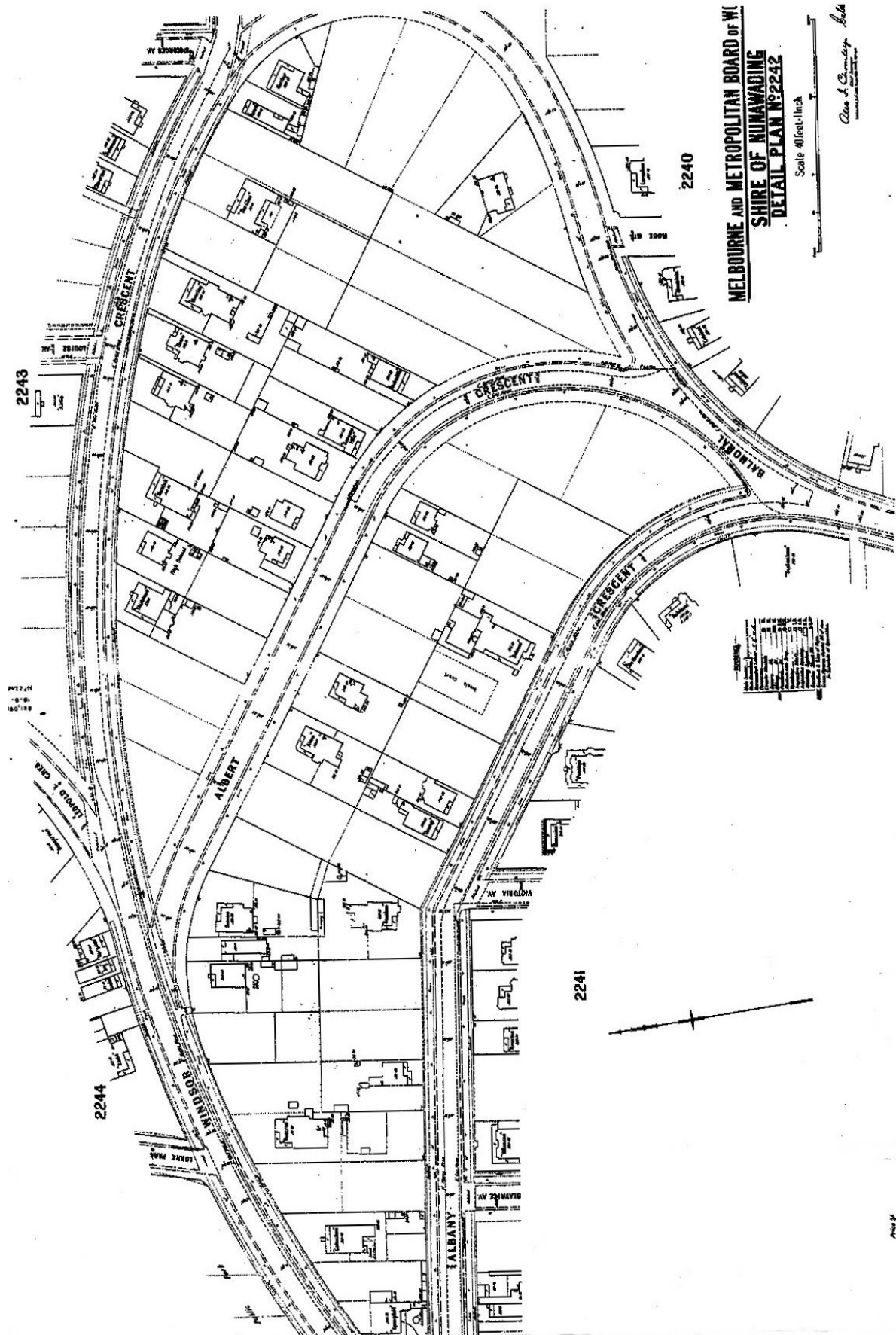
Aesthetically, the precinct contains a large number of substantially intact houses dating from the Victorian, Edwardian and inter-War periods. The historically important remnant Victorian houses are complemented by a large number of Edwardian and inter-War houses exhibiting a range of interesting stylistic characteristics. Most of the houses display a particularly high level of intactness. Historically, the precinct represents the three major phases of development of the Mont Albert area. The precinct also has historical associations with Matthew Davies Freehold and Investment Banking Company, important nineteenth century property speculators.

Recommendation

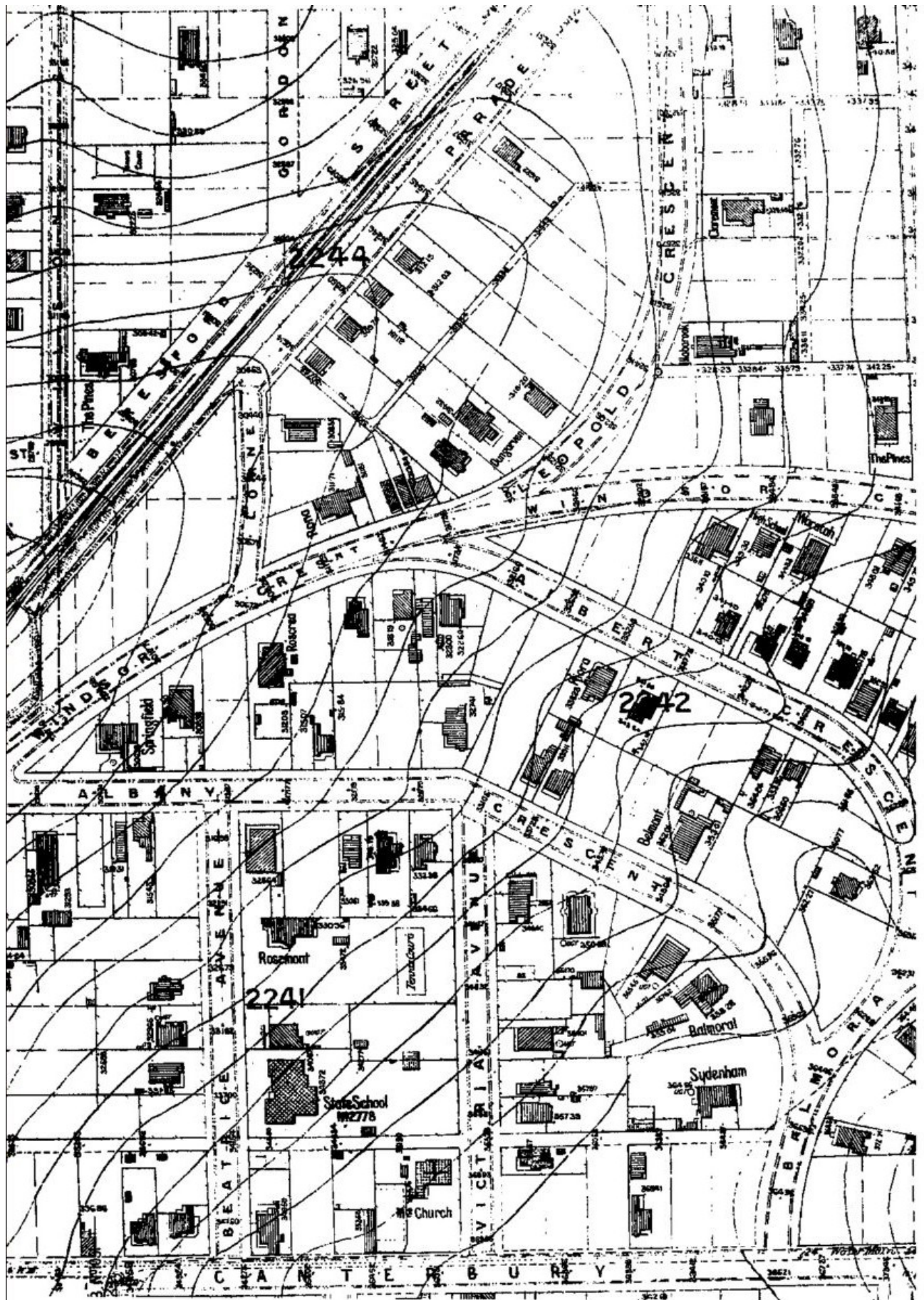
The residence at 32 High Street Mont Albert is an intact Californian Bungalow style residence. It is located adjacent to properties included in the Mont Albert residential precinct. Given its location and appearance, it is worthy of inclusion as a contributory property in the existing Mont Albert Residential Heritage Overlay Precinct HO102. The style and intactness of the building is consistent with the existing statement of significance for this precinct.

Appendix 1 – MMBW Plans of Windsor Park

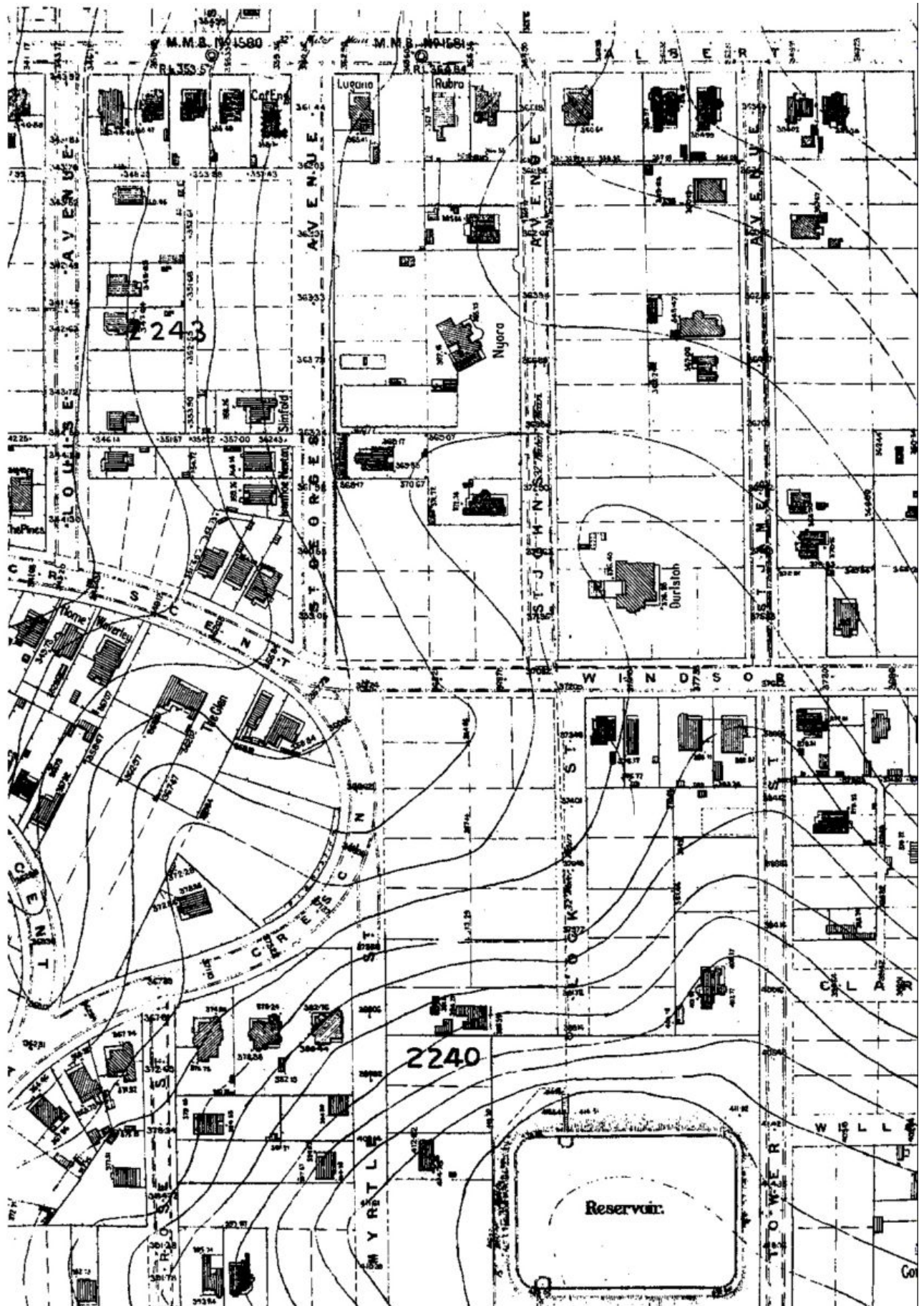




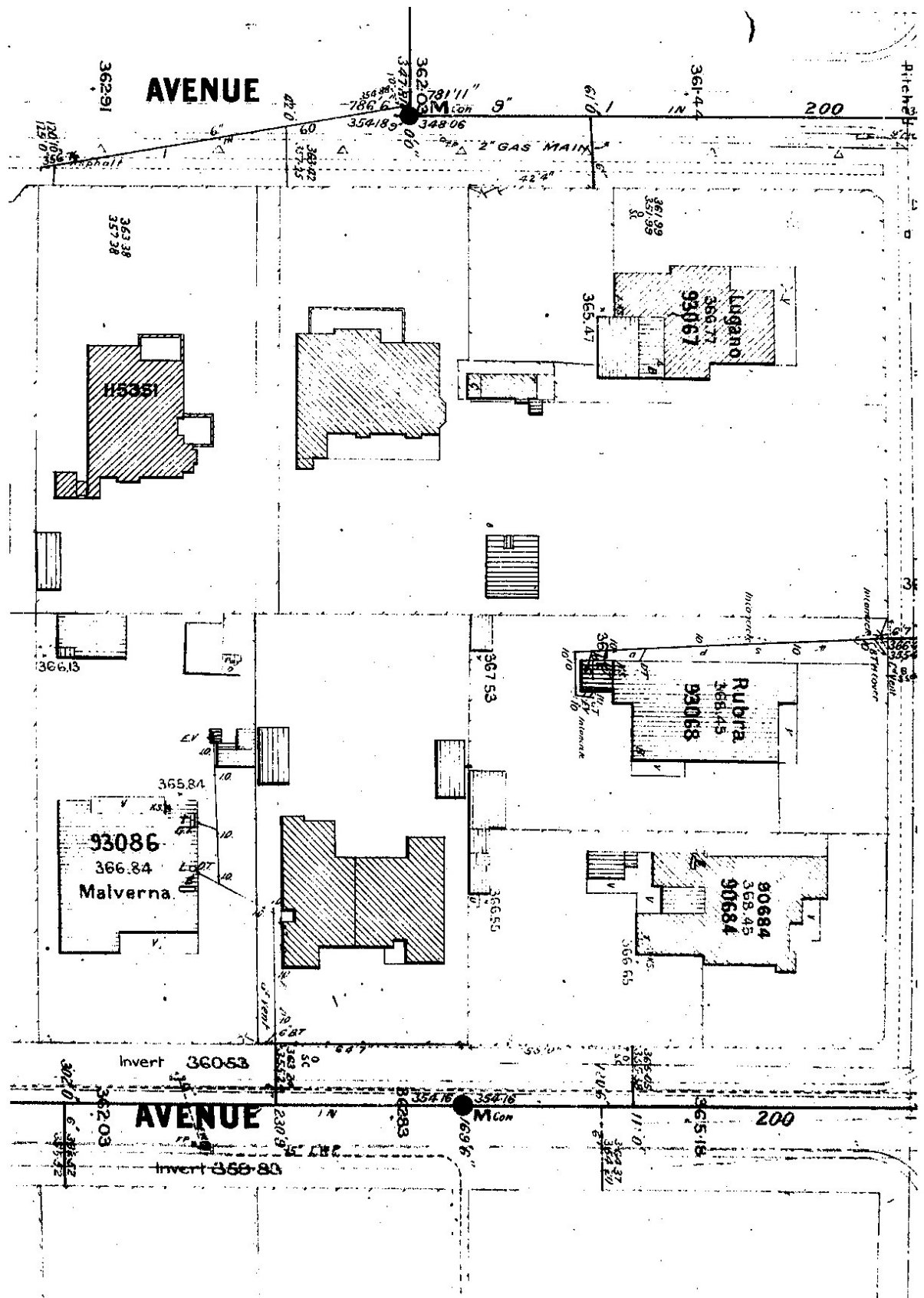
1910



1927



1927



Appendix 2 – National Register Criteria

CRITERION A:

ITS IMPORTANCE IN THE COURSE, OR PATTERN, OF AUSTRALIA'S NATURAL OR CULTURAL HISTORY

- A.1 Importance in the evolution of Australian flora, fauna, landscapes or climate.
- A.2 Importance in maintaining existing processes or natural systems at the regional or national scale.
- A.3 Importance in exhibiting unusual richness or diversity of flora, fauna, landscapes or cultural features.
- A.4 Importance for association with events, developments or cultural phases, which have had a significant role in the human occupation and evolution of the nation, State, region or community.

CRITERION B:

ITS POSSESSION OF UNCOMMON, RARE OR ENDANGERED ASPECTS OF AUSTRALIA'S NATURAL OR CULTURAL HISTORY

- B.1 Importance for rare, endangered or uncommon flora, fauna, communities, ecosystems, natural landscapes or phenomena, or as a wilderness.
- B.2 Importance in demonstrating a distinctive way of life, custom, process, land-use, function or design no longer practiced, in danger of being lost, or of exceptional interest

CRITERION C:

ITS POTENTIAL TO YIELD INFORMATION THAT WILL CONTRIBUTE TO AN UNDERSTANDING OF AUSTRALIA'S NATURAL OR CULTURAL HISTORY

- C.1 Importance for information contributing to a wider understanding of Australian natural history, by virtue of its use as a research site, teaching site, type locality, reference or benchmark site.
- C.2 Importance for information contributing to a wider understanding of the history of human occupation of Australia.

CRITERION D:

ITS IMPORTANCE IN DEMONSTRATING THE PRINCIPAL CHARACTERISTICS OF:
(I) A CLASS OF AUSTRALIA'S NATURAL OR CULTURAL PLACES; OR (II) A CLASS OF AUSTRALIA'S NATURAL OR CULTURAL ENVIRONMENTS

- D.1 Importance in demonstrating the principal characteristics of the range of landscapes, environments or ecosystems, the attributes of which identify them as being characteristic of their class.
- D.2 Importance in demonstrating the principal characteristics of the range of human activities in the Australian environment (including way of life, philosophy, custom, process, land use, function, design or technique).

CRITERION E:

**ITS IMPORTANCE IN EXHIBITING PARTICULAR AESTHETIC CHARACTERISTICS
VALUED BY A COMMUNITY OR CULTURAL GROUP**

E.1 Importance for a community for aesthetic characteristics held in high esteem or otherwise valued by the community.

CRITERION F:

**ITS IMPORTANCE IN DEMONSTRATING A HIGH DEGREE OF CREATIVE OR
TECHNICAL ACHIEVEMENT AT A PARTICULAR PERIOD**

F.1 Importance for its technical, creative, design or artistic excellence, innovation or achievement.

CRITERION G:

**ITS STRONG OR SPECIAL ASSOCIATIONS WITH A PARTICULAR COMMUNITY OR
CULTURAL GROUP FOR SOCIAL, CULTURAL OR SPIRITUAL REASONS**

G.1 Importance as a place highly valued by a community for reasons of religious, spiritual, symbolic, cultural, educational, or social associations.

CRITERION H:

**ITS SPECIAL ASSOCIATION WITH THE LIFE OR WORKS OF A PERSON, OR GROUP
OF PERSONS, OF IMPORTANCE IN AUSTRALIA'S NATURAL OR CULTURAL
HISTORY**

H.1 Importance for close associations with individuals whose activities have been significant within the history of the nation, State or region.