

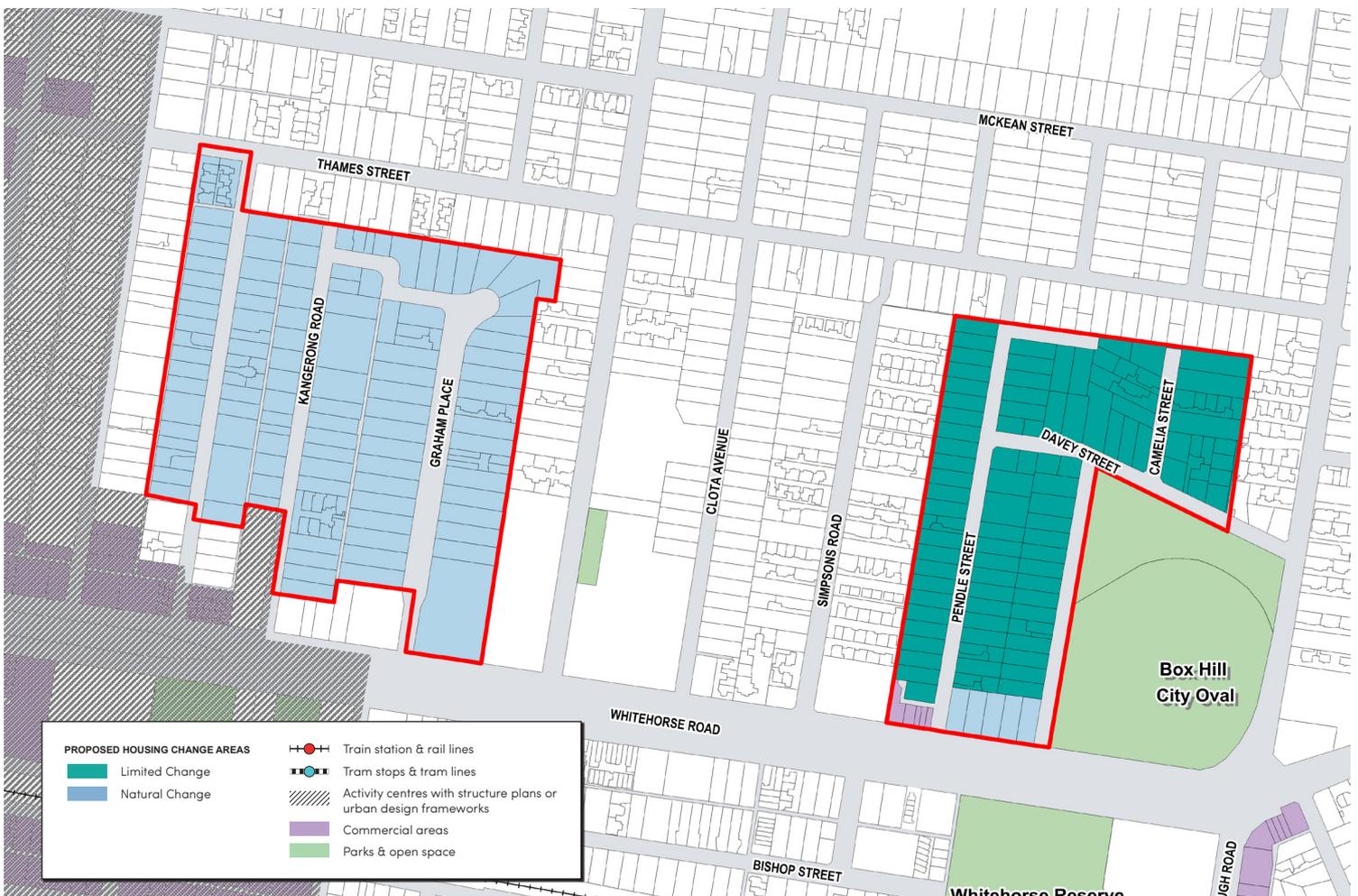
KEY EXISTING CHARACTERISTICS

- Architectural style is mixed, with a Californian Bungalow and Interwar base, several significant heritage Victorian dwellings, with post-war and contemporary infill development. The clustering of these heritage properties is significant.
- Brick, timber weatherboard and rendered finishes, with tiled rooftops.
- Building heights are generally 1-2 storeys, detached with semi-detached (units, terraces and townhouses) and attached (apartment) infill.
- Front setbacks generally range from 5-7m with 1-3m side setbacks, usually from both side boundaries. Heritage buildings and new developments sometimes have substantially smaller setbacks from the front.
- Graham Place, which incorporates a central circular green within its L-shaped layout, is distinctive both in its street alignment and the siting of the dwellings within the vicinity of the green.
- The Bolton Street area consists of a modified grid subdivision pattern, with formal street settings overlooking the Box Hill Oval.
- Garages or carports are generally located behind the front dwelling facade with single crossovers.
- Front fences are generally low or transparent, with side fences forward of the dwellings.
- Gardens are generally exotic and well-landscaped with substantial shrubs, garden beds, and lawn areas.
- Streetscapes are green and leafy, with grass nature strips and footpaths. Buildings are sometimes partially hidden behind street trees and vegetation.
- The topography of the area is generally flat.

PREFERRED CHARACTER STATEMENT

The combination of heritage, older style dwellings and well designed contemporary buildings set within gardens will continue to form the key characteristics of this area. New dwellings will be sited to reflect the spacious qualities and the dominance of gardens in the streetscape. Dwelling design will respond to the characteristics of the older dwellings including heavily articulated forms, 1-2 storey scale, pitched roofs and front and side setbacks that allow for planting, without replicating earlier styles. Low or open style front fences will allow private gardens to contribute to the leafy character of the area.

This area will undergo further investigation to determine whether additional Neighbourhood Character or Heritage Overlay controls are warranted.



GARDEN SUBURBAN PRECINCT 16 GUIDELINES

CHARACTER ELEMENT	OBJECTIVE	DESIGN RESPONSE	AVOID
EXISTING OLDER BUILDINGS	<i>To encourage the retention of intact, older buildings that contribute to the character of the area.</i>	<ul style="list-style-type: none"> Retain architecturally intact pre-1940s era buildings wherever possible. 	Replacement of architecturally intact pre-1940s era buildings with new buildings that do not respond to the preferred character of the precinct.
	<i>To respect the qualities of older adjoining buildings that are in good condition.</i>	<ul style="list-style-type: none"> Where adjoining an architecturally intact, heritage listed building, or where constructing additional dwelling(s) on a site where the existing dwelling is being retained, respect the height, building forms, siting and materials of the heritage or existing building(s) in new building design. New buildings, and additions to existing heritage buildings, should be distinguishable from older dwelling stock through the use of innovative and contemporary architecture. New buildings should reflect the general form (including roof form) and scale of older buildings on the same site. 	<p>Buildings that dominate Interwar and Post-War buildings by height, siting or massing.</p> <p>Period reproduction styles and detailing.</p>
GARDENS & LANDSCAPING	<i>To maintain and strengthen the garden setting of the dwellings and the tree canopy of the neighbourhood.</i>	<ul style="list-style-type: none"> Retain established or mature trees and provide for the planting of new trees and substantial vegetation. Locate footings and paved areas outside the root zone of established trees. Prepare and implement a landscape plan that includes substantial trees and vegetation. Provide at least 30% of the site as permeable surface. Site coverage should not exceed 50%. Provide for one ground level area with minimum dimensions of 5m x 5m, as open space to accommodate substantial trees. Plant at least two canopy trees with a minimum mature height of 8 metres per dwelling. Open space areas should be oriented to the north wherever possible. 	<p>Removal of large, established trees.</p> <p>Loss of established vegetation.</p> <p>Inadequate space for trees/planting around buildings.</p>
	<i>To minimise the dominance of car parking structures and the loss of front garden space to vehicular access and parking.</i>	<ul style="list-style-type: none"> Provide only one vehicular crossover per typical site frontage. 	<p>Car parking structures that dominate the façade or view of the dwelling from the street.</p> <p>Creation of new crossovers and driveways, or wide crossovers.</p> <p>Excessive areas of hard paving and driveways.</p>
	<i>To ensure the provision of permeable and useable private open space for new dwellings.</i>	<ul style="list-style-type: none"> In addition to any new balconies or rooftops, private open space with a minimum dimension of 5m x 5m for each dwelling should be provided. Private open space should be oriented to the north wherever possible and accommodate garden planting. 	Inadequate permeable private open space.
MINIMUM LOT SIZE	<i>To ensure the spacing and density of dwellings is managed to accord with housing objectives.</i>	<ul style="list-style-type: none"> The minimum subdivision area should be 320 sq. m. A permit is required for the construction or extension of one dwelling on a lot that is less than 300 sq. m. Development of single dwellings on lots smaller than 300 sq. m. should only be approved if all other guidelines are satisfied. 	Lot sizes and development that does not meet the other neighbourhood character Guidelines.
SITING	<i>To maintain the consistency and spaciousness of front boundary setbacks</i>	<ul style="list-style-type: none"> Buildings should be set back a minimum of 6m from the front boundary unless both adjoining dwellings are set further forward, in which case the average of the two setbacks of adjoining dwellings may be matched. 	Inconsistent front setback patterns.
	<i>To maintain and reinforce the rhythm of spacing between buildings.</i>	<ul style="list-style-type: none"> New buildings should be setback to reflect the prevailing front setbacks. Set back buildings a minimum of 1m from at least one side boundary in Limited Change areas. Set back buildings a minimum of 1m from both side boundaries in Natural Change areas. In Limited Change areas carports, garages and outbuildings may be located on one side boundary, where it is setback a minimum of 1m from the front façade of the dwelling fronting the street . In Natural Change areas carports, garages or outbuildings should be setback a minimum of 1m from the front façade of a dwelling fronting the street, with no walls on a boundary. 	Inconsistent siting patterns and a lack of space around buildings.
BUILDING HEIGHT & FORM	<i>To ensure that buildings and extensions do not dominate the streetscape.</i>	<ul style="list-style-type: none"> Buildings should not exceed two storeys in height. Roof forms should be pitched and incorporate eaves. 	<p>Buildings that appear to exceed the predominant two storey height of buildings in the precinct.</p> <p>Lack of eaves.</p>
PARK INTERFACE	<i>To ensure that new development provides a positive interface with any adjoining parks or open space.</i>	<ul style="list-style-type: none"> Design new buildings to provide a façade to any adjacent parkland to enable casual passive surveillance of the public space. Building should be setback from the interface boundary so as not to dominate or appear overbearing from within the parkland. 	Blank walls fronting parkland spaces.
MATERIALS & DESIGN DETAIL	<i>To encourage building detailing that reflects, without mimicking, the details of buildings in the area.</i>	<ul style="list-style-type: none"> Articulate the facades of buildings with the use of recesses, verandahs, balconies, window openings and variations in materials and colours. 	<p>Blank walls and facades.</p> <p>Mock historical styles and 'reproduction' detailing.</p>
FRONT FENCING	<i>To retain views to dwellings and gardens, and complement the predominant style of front boundary delineation in the street.</i>	<ul style="list-style-type: none"> Provide a low or open style front fence up to 1.2m in height, and constructed of materials appropriate to the dwelling style. On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 20% permeability. 	High, solid front fencing.