

KEY EXISTING CHARACTERISTICS

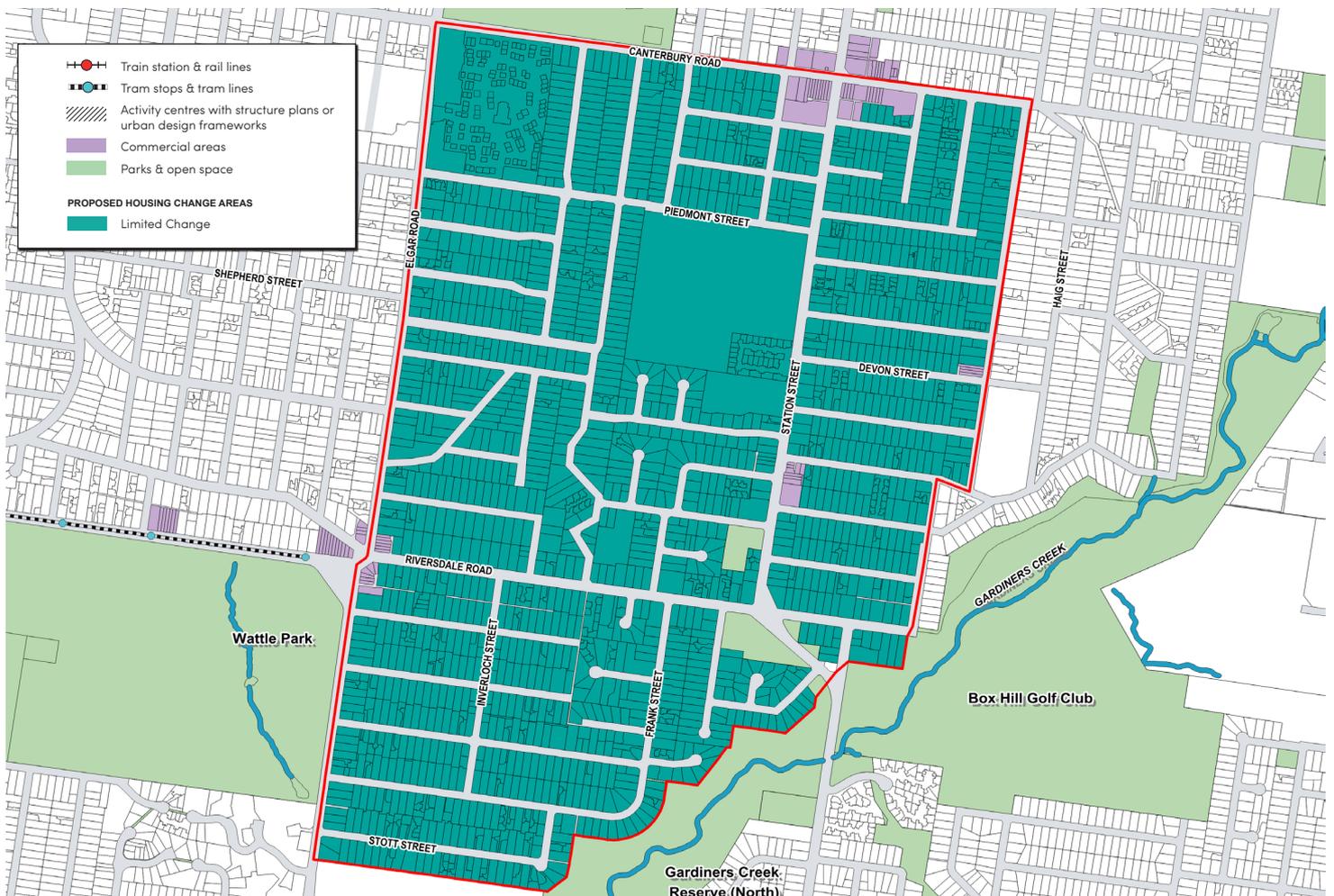
- Architectural style is mixed, consisting of pre-WWII, post-war, 1950s to 1980s and contemporary styles. There are a number of areas with predominant Californian bungalow styles.
- Materials are generally brick or timber with tiled roofs, and some use of render in contemporary dwellings. There are some predominant areas of timber weatherboard dwellings throughout the precinct.
- Dwellings are predominantly 1-2 storeys, detached with some semi-detached infill (units and townhouses).
- Front setbacks are generally 5-7m, with 1-2m side setbacks from at least one side boundary. New developments generally have smaller front and side setbacks.
- Garages and carports are usually located behind the dwelling, along one side boundary with a single crossover, or incorporated into the building and setback from the front façade.
- Fences are nonexistent or low in height (up to 1.2m) and generally constructed of brick, timber or planted with vegetation. There are some high fencing styles along main roads.
- Gardens are established with predominantly exotic species, comprising shrub, lawns, garden beds, and canopy trees.
- Road treatments are sealed with upstanding kerbs and footpaths.
- Street trees are regularly planted and mixed in species, spacing and sizes.
- Topography in the area is gently sloping. There are interfaces with Gardiners Creek reserve and open spaces, and opposite Wattle Park.

PREFERRED CHARACTER STATEMENT

The area will retain its classic garden dominated characteristics with low scale dwellings set in generous garden settings. Wide front and side setbacks from at least one side boundary allow views between dwellings, and low or open style front fences will continue to contribute to the spacious character of the area. The landscape settings will be enhanced through the planting and growth of new vegetation, including large shrubs and tall canopy trees.

Properties abutting or situated close to Gardiner’s Creek will contain substantial vegetation, and development will be sited so that the overall visibility of buildings is minimised when viewed from the creek corridor.

Areas with good access to trams and Wattle Park shopping centre will accommodate more dwellings, including well designed medium density housing, with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.



GARDEN SUBURBAN PRECINCT 3 GUIDELINES

CHARACTER ELEMENT	OBJECTIVE	DESIGN RESPONSE	AVOID
GARDENS & LANDSCAPING	<i>To maintain and strengthen the garden setting of the dwellings and the tree canopy of the neighbourhood.</i>	<ul style="list-style-type: none"> Retain established or mature trees and provide for the planting of new canopy trees and substantial vegetation. Locate footings and paved areas outside the root zone of established trees. Prepare and implement a landscape plan that includes substantial trees and vegetation. Provide at least 30% of the site as permeable surface. Site coverage should not exceed 50%. Provide for one ground level area with minimum dimensions of 5m x 5m, for open space to accommodate at least one canopy tree. Plant at least two canopy trees with a minimum mature height of 8 metres per dwelling. Open space areas should be oriented to the north wherever possible. 	<p>Removal of large, established trees.</p> <p>Loss of established vegetation.</p> <p>Inadequate space for trees/planting around buildings.</p> <p>Use of an easement or service area for the provision of space for a canopy tree.</p>
	<i>To minimise the dominance of car parking structures and the loss of front garden space to vehicular access and parking.</i>	<ul style="list-style-type: none"> Provide only one vehicular crossover per typical site frontage. 	<p>Car parking structures that dominate the façade or view of the dwelling from the street.</p> <p>Creation of new crossovers and driveways, or wide crossovers.</p> <p>Excessive areas of hard paving and driveways.</p>
	<i>To ensure the provision of permeable and useable private open space for new dwellings.</i>	<ul style="list-style-type: none"> In addition to any new balconies or rooftops, private open space with a minimum dimension of 5m x 5m for each dwelling should be provided. Private open space should be oriented to the north wherever possible and accommodate garden planting. 	<p>Inadequate permeable private open space.</p>
MINIMUM LOT SIZE	<i>To ensure the spacing and density of dwellings is managed to accord with housing objectives.</i>	<ul style="list-style-type: none"> In Limited Change areas / sites, the minimum subdivision area should be 320 sq. m. A permit is required for the construction or extension of one dwelling on a lot that is less than 300 sq. m. Development of single dwellings on lots smaller than 300 sq. m. should only be approved if all other guidelines are satisfied. 	<p>Lot sizes and development that does not meet the other neighbourhood character Guidelines.</p>
SITING	<i>To maintain and reinforce the rhythm of spacing between and around buildings, and the alignment of buildings along the street.</i>	<ul style="list-style-type: none"> New buildings should be setback to reflect the prevailing front setbacks. Set back buildings a minimum of 1m from at least one side boundary. Carports, garages or outbuildings may be located on one side boundary, where it is setback a minimum of 1m from the front facade of a dwelling fronting the street. 	<p>Inconsistent siting patterns and a lack of space around buildings.</p>
SENSITIVE LANDSCAPE ENVIRONS	<i>To ensure buildings make a positive contribution to the adjacent Gardiner's Creek reservation.</i>	<ul style="list-style-type: none"> Minimise the visual impact of development adjoining the creek reservations on the sensitive creek environs. Building design should respond to the topography and minimise the need for cut and fill. Provide landscape plans that incorporate substantial use of indigenous and native trees and vegetation to reflect that in the adjacent sensitive landscape area. Minimise site coverage and hard surfaces on sites adjoining sensitive landscape environs. 	<p>Buildings that are visually dominant when viewed from within the sensitive landscape.</p> <p>Buildings that do not respond to the topography.</p> <p>Excessive site coverage and hard surfaces that leave inadequate space for trees and vegetation to complement the sensitive landscape environs.</p>
PARK INTERFACE	<i>To ensure that new development provides a positive interface with any adjoining parks or open space.</i>	<ul style="list-style-type: none"> Design new buildings to provide a façade to any adjacent parkland to enable casual passive surveillance of the public space. Building should be setback from the interface boundary so as not to dominate or appear overbearing from within the parkland. 	<p>Blank walls fronting parkland spaces.</p>
BUILDING HEIGHT & FORM	<i>To ensure that buildings and extensions do not dominate the streetscape.</i>	<ul style="list-style-type: none"> Buildings should not exceed two storeys (8m) in height. Roof forms should incorporate eaves. 	<p>Buildings that appear to exceed the predominant height of buildings in the street by more than one storey.</p> <p>Lack of eaves.</p>
MATERIALS & DESIGN DETAIL	<i>To encourage building detailing that reflects, without mimicking, the details of buildings in the area.</i>	<ul style="list-style-type: none"> Articulate the facades of buildings with the use of recesses, verandahs, balconies, window openings and variations in materials and colours. 	<p>Blank walls and facades.</p> <p>Mock historical styles and 'reproduction' detailing.</p>
FRONT FENCING	<i>To retain views to dwellings and gardens, and complement the predominant style of front boundary delineation in the street</i>	<ul style="list-style-type: none"> Provide a low or open style front fence up to 1.2m in height, and constructed of materials appropriate to the dwelling style. On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 20% permeability. 	<p>High, solid front fencing.</p>