

AMENDMENT C175 TO THE WHITEHORSE PLANNING SCHEME

**TOWN PLANNING
EVIDENCE PREPARED BY
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INSTRUCTED BY
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URBIS

JULY 2017

PREPARED FOR EPWORTH HEALTHCARE AND VITAL HEALTH CARE PROPERTY TRUST

TABLE OF CONTENTS

1.	Introduction	3
2.	Subject Site and Surrounds	5
3.	Amendment C175	8
4.	PLanning permit application WH/2016/1163	10
5.	Planning context	11
5.1.	Plan Melbourne.....	11
5.2.	State Planning Policy Framework.....	13
5.3.	Local Planning Policy Framework.....	14
5.4.	Box Hill Transit City Activity Centre Structure Plan	17
5.5.	Existing planning controls	18
6.	Planning considerations.....	19
6.1.	The appropriateness of the proposed Zone	19
6.2.	Strategic Policy Considerations	20
6.2.1.	Facilitating Employment Growth	20
6.2.2.	Meeting Future Health Care Demand.....	22
6.2.3.	Is the Precinct Appropriate for Expanded Health and Education Facilities	23
6.2.4.	What Kind of Built Form Outcome is Required?.....	23
6.3.	The appropriateness of the proposed controls	29
6.3.1.	Subdivision Pattern and Site Coverage	29
6.3.2.	Separation Between Buildings.....	30
6.3.3.	Building Height.....	31
6.3.4.	Landscape Objectives and Built Form Response.....	31
6.3.5.	Form and Content of the DDO6.....	32
7.	Conclusion	33
Appendix 1	Summary of Evidence and Personal Details	
Appendix 2	Track Changed version of DDO6	
Appendix 3	Special Use Zone for Epworth Geelong and Epworth Richmond Sites	

1. INTRODUCTION

1. My name is Sarah Macklin and I am a Director of Urbis Pty Ltd which conducts its business at Level 12, 120 Collins Street, Melbourne. My qualifications and experience are described in **Appendix 1**.
2. I have been requested by Gadens Lawyers, representing Epworth HealthCare and Vital Healthcare Property Trust, to provide my expert opinion with respect to Amendment C175 to the Whitehorse Planning Scheme. In preparing this statement I have inspected the site and surrounds, examined relevant aspects of the State and Local Planning Policy Frameworks, reviewed a range of strategic policies and policy guidelines, reviewed documentation supporting the proposed amendment, and submissions to the proposal.
3. Amendment C175 seeks to give effect to the draft Box Hill Metropolitan Activity Centre (MAC) Built Form Guidelines 2016 through the rezoning of the subject land (and other land) to the Mixed Use Zone, the introduction of a new Design and Development Overlay Schedule 6 (DDO6) and inclusion of the Built Form Guidelines as a reference document at Clause 21.07 and Clause 22.07.
4. Vital Healthcare own land at 1 Arnold Street and 25 Nelson Road (the subject land), where Epworth HealthCare operate the Epworth Eastern Hospital. The land is located within Precinct F6: TAFE & Hospital of the Built Form Guidelines.
5. In summary, my opinion with respect to Amendment C175 is as follows:
 - **The proposed application of the Mixed Use Zone to the subject land, while not the preferred zone to facilitate health use and development, is acceptable.**
 - **The strategic policy context of the Precinct has not been appropriately considered in the formation of the built form guidelines for Precinct F6 and changes are required to provide alignment with the planning policy framework.**
 - **The proposed planning controls are inappropriate for Precinct F6, particularly with regard to hospital use and development, which is specifically encouraged in the MAC and the F6 precinct.**
6. In my view, I recommend the following changes are made to the Built Form Guidelines and DDO6 for Precinct F6, which are attached in Appendix 2 and can be summarised as:
 - To exempt buildings in Precinct F6 from the maximum street wall heights.
 - Clarify where built form controls should apply to residential dwellings only.
 - At Precinct F6, amend the objective to delete requirements for small building footprints within generous landscaping and building separation, and include a new objective to support innovation and provide flexibility for health, educational and employment uses.
 - At Precinct F6, built form response, delete the requirement for 60% site coverage.
 - Delete the requirement for an 8m landscaping setback, and require landscaping at the site interface to priority pedestrian streets. Nominate that cross-overs and drop-offs may be included within landscape setbacks where appropriate.
7. I note that I am a planning advisor to Epworth HealthCare and Vital Healthcare on a number of private hospital projects. I was the project planner on the substantial Epworth Richmond redevelopment (part completed), the Epworth Geelong Teaching Hospital development (stage 1 completed), the approved expansion of the Epworth Hawthorn Rehabilitation Hospital, and the approved Grey Street Cancer Centre at Epworth Freemasons (for Epworth HealthCare and Generation Healthcare). I have also advised the Department of Health and Human Services on the planning context and controls to facilitate the South West Cancer Centre at Warrnambool.

8. I am currently advising Epworth HealthCare and Vital Healthcare on the permit application that has recently been recently refused (30 June 2017) by Whitehorse City Council for the expansion of the Epworth Eastern hospital through the development of the land at 1 Arnold St & 25 Nelson Road for a 15 storey building and part refurbishment of the existing hospital. The day to day running of this application is being managed by another staff member at Urbis.

2. SUBJECT SITE AND SURROUNDS

9. The Epworth Eastern Private Hospital, the subject site, comprises three parcels over two titles which are summarised as:

- 1 Arnold Street (approx. 6500sqm) which is currently occupied by the existing Epworth Eastern and their associated hospital and health services buildings
- 25 Nelson Road (approx. 700 sqm) currently contains a set of unoccupied residential flats.



Figure 1. The existing Epworth Eastern site.

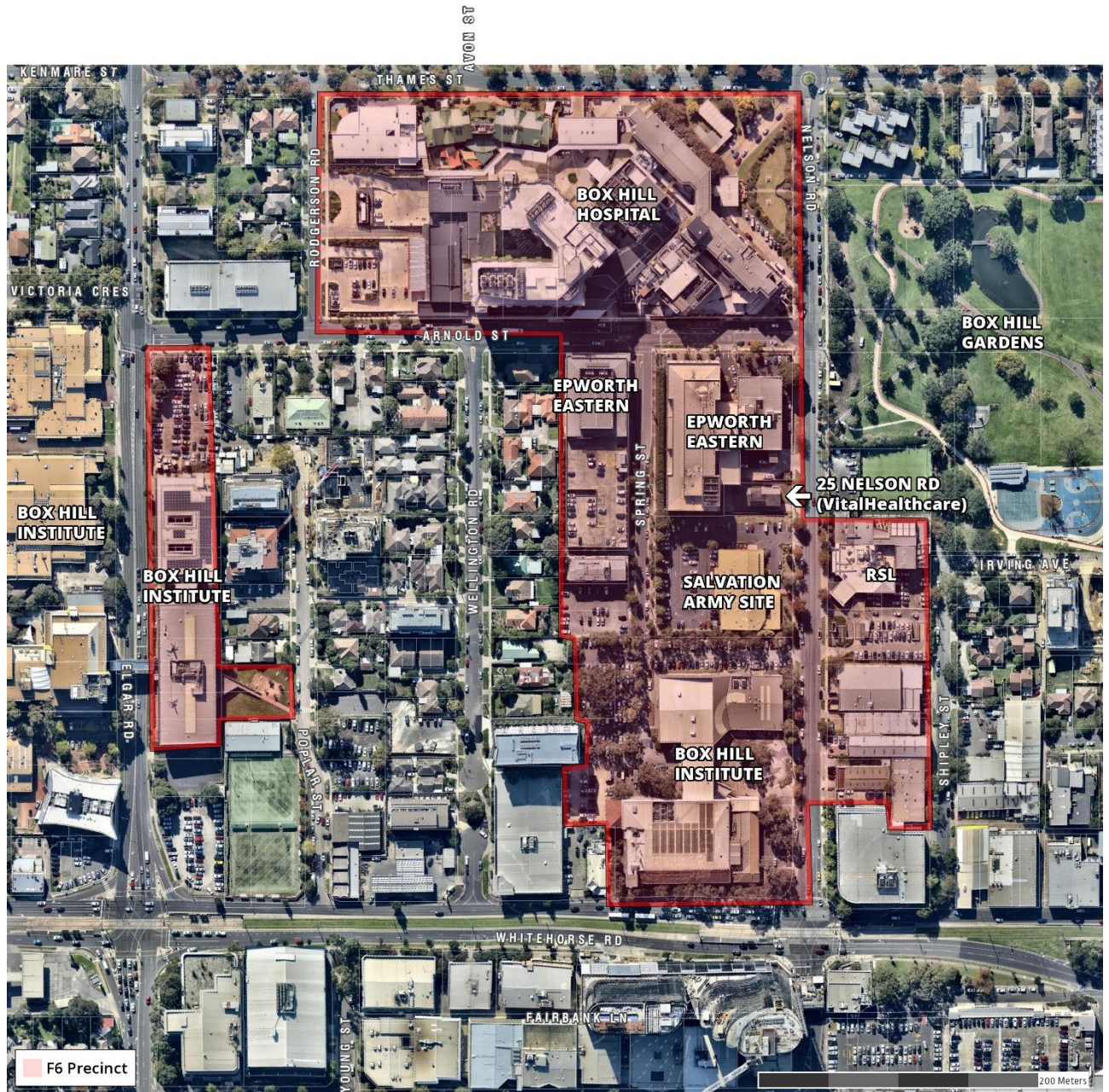


Figure 2. The F6 Precinct, including major institutional land uses, including Box Hill Public Hospital, the Box Hill Institute, RSL and Salvation Army.

10. Council has identified, in their *Built Form Guidelines* which form the basis of this amendment, the subject land as located in the F6 Precinct. This Precinct is generally characterised by large lot sizes, accommodating health, education and community institutions, including the Box Hill Public Hospital, Epworth Eastern Private Hospital, Salvation Army Church, the RSL Club and grounds, and the Box Hill Institute. The building forms of these institutional buildings are varied, in height and setback.
11. There is also a mixture of smaller developments and lot sizes within the vicinity of the site and the Box Hill Gardens.
12. The surrounding development can be described as:
 - **North** of the site is Arnold Street a major double lane access street running east-west to connect Elgar Road and Nelson Road respectively. Further north, opposite Arnold Street, is the Box Hill Public Hospital. This building comprises several forms with varying heights between 21 and 46 metres. The new expansion of the Box Hill Public Hospital is

characterised by tall, sheer form, with a small landscaped setback to Arnold Road (see Figure 3).



Figure 3 The new Bok Hill Public Hospital expansion, with development up to 43m, Arnold Road

- **East** of the site is Nelson Road, a two-lane local road with scattered parallel parking. Opposite Nelson Road is the Box Hill RSL, which is a large site comprising some 4800 sqm. The site currently contains a multi-level building, with the Bowling Green forming the direct interface with the subject site. A current planning permit application has been lodged on the site to develop the land for a multi-storey car park and modifications to the building façade. The application is under consideration by Council.
- The Box Hill Gardens are also east of Epworth Hospital.
- To the **south** of the site is a large landholding that currently comprises a single storey church/hall building, occupied by the Salvation Army. The site is largely made up of car parking area, which creates the direct interface with the subject site.
- The **western** interface to the site is Spring Street, a local road with on-street parallel parking. A mixture of uses along Spring Street include the Box Hill Institute and student accommodation. The western side of Spring Street is characterised by 3 – 4 storey buildings with minimal front setbacks to the street, and dominated by the 4-5 level building at 5 Arnold Street, the Epworth Medical Centre.

3. AMENDMENT C175

13. Whitehorse City Council has prepared this Amendment in order to give effect to the Box Hill Metropolitan Activity Centre Built Form Guidelines 2016 (*Built Form Guidelines*).
14. The Amendment applies to the land located with the Box Hill Metropolitan Activity Centre (MAC) which is the same area covered by the Box Hill Transit City Structure Plan 2007 (the Structure Plan) and seeks to:
 - Rezone various parcels of land to the Mixed Use Zone and the Commercial 1 Zone;
 - Introduce a new Schedule 6 to Clause 43.02 Design and Development Overlay (DDO6), to be applied to the majority of land within the MAC; and
 - Include the *Built Form Guidelines* as a Reference Document at Clauses 21.07 and 22.07.
15. Specifically, in relation to the subject site, the site is located in Precinct F of the Structure Plan which is identified as the 'Major Development Precinct'. The *Built Form Guidelines* further divide the Precincts into sub-precincts and the subject site is located in Precinct F6: TAFE and Hospital.
16. The proposed DDO6 specifies various discretionary requirements for the whole MAC area under the following headings:
 - Street Frontages
 - Weather Protection, Awning & Verandahs
 - Architecture and Building Articulation
 - Pedestrian Access
 - Vehicle Access
 - Building Depths
 - Building Separation
 - Overshadowing
 - Landscaping
17. DDO6 also provides specific discretionary requirements for each of the sub-precincts. For Precinct F6, the following guidelines are specified:

Table 8 –Sub-Precinct F6 Guidelines – TAFE and Hospital

Urban Design Attribute	Precinct Objectives	Built Form Response
Subdivision Pattern	<p>To support high density education/institutional development within a generous landscape setting at the ground level (campus style).</p> <p>To encourage lot consolidation for medium and smaller sites.</p> <p>To encourage taller forms with smaller footprints with a generous separation between buildings.</p>	<p>60% site coverage.</p> <p>A minimum 10m separation between buildings.</p> <p>A plot - ratio approach is applicable on extra large sites.</p>
Street walls and preferred maximum heights	<p>To establish continuous belt of landscaping along all street frontages.</p> <p>To encourage diversity of building types.</p> <p>To ensure building orientation considers future development on or adjacent to the site, including potential linkages to such development.</p>	<p>Minimum 8m landscape setback from all street frontages.</p> <p>Preferred maximum height of 15 storeys.</p>

Heritage	N/A	N/A
Key Views	<p>To ensure building orientation provides a positive relationship to the campus open space network and usable open space.</p> <p>To ensure buildings 'frame' key viewlines.</p>	<p>A minimum 10m separation between buildings.</p> <p>Align key view lines with priority pedestrian links.</p>
Additional street/laneway address	<p>To ensure building orientation provides a positive relationship to the campus open space network and usable open space.</p> <p>To ensure buildings 'frame' key viewlines.</p>	<p>At grade pedestrian links that are open to the sky.</p> <p>Encourage active frontages along pedestrian priority link.</p>
Amenity/access to daylight	Refer to objectives and requirements under Clauses 1 and 2.	Refer to objectives and requirements under Clauses 1 and 2.
Landscape	Refer to objectives and requirements under Clauses 1 and 2.	<p>Landscape setback to all street edges (minimum 8m).</p> <p>Incorporate landscaping elements within the building façades where possible.</p> <p>Incorporate public spaces at the ground level where possible.</p>

18. The Amendment was exhibited between 16 February and 17 March 2017.
19. I note that following consideration of submissions made to the Amendment by Epworth HealthCare and others including the RSL and Box Hill Institute, in response Council has resolved to delete the reference to 'campus style' and replace '*To establish continuous belt of landscaping*' with '*To encourage continuous belt of landscaping*' (my underlining). These proposed changes are consistent with the updated version of DDO6 circulated to the Panel on 7th July 2017.

4. PLANNING PERMIT APPLICATION WH/2016/1163

20. On the 15th December 2016, a planning permit application was lodged by Urbis on behalf of Epworth HealthCare and Vital Healthcare for refurbishment of the eastern part of the Hospital and expansion of Hospital on the 'flats' site at 25 Nelson Road as an interconnecting development.

21. The proposal can be described as:

Demolition of the existing flats (25 Nelson Road)

The use and development of an expanded hospital complex which is to comprise of the following **net** increase in health services:

- 2 operating theatres
- 60 overnight acute patient beds
- 15 rehab beds
- 20 consulting suites
- Refurbishment to the ground floor (to create a new Emergency Department and associated drop off including the releveling of the access ramps and driveway areas)
- Refurbished pathology space and new rehabilitation area at Level 2
- Recovery bays and non-clinical services to be refurbished at Level 3 with the loss of existing consulting space

A new built form summarised as:

- A three-level basement comprising additional car parking facilities, which will interconnect with the existing car parking areas within the western building
- A podium-tower form, with ground and first floor setback of 7.95 metres to allow for patient vehicle access and drop off, creating an undercroft area below the street wall above, with landscaping to Nelson Road.
- Vehicle access including ambulance vehicles and access to basement car park
- Integrated floor plates at Levels 3 – 7 (podium) which connect the existing and proposed hospital services. New hospital wards and operating theatres are included on these levels. The front and rear buildings will physically be connected via a link, with the northern element of the existing hospital to be integrated with the new built form via internal rearrangement of services
- Floor to floor heights within the building are proposed at 3.9 metres for most levels, except 4.2 metres at Level 3 for operating theatres and 3.61 metres at Level 2 for theatre plant and associated facilities.

Whitehorse City Council refused the permit application on the 30th June 2017, and an appeal of the decision is to be lodged with VCAT. The application continues to be discussed with Whitehorse City Council.

5. PLANNING CONTEXT

5.1. PLAN MELBOURNE

22. Plan Melbourne (2017–2050) acknowledges the following key challenges and opportunities for the future of Melbourne that are relevant to this Amendment:
- Over the past decade, Melbourne has added more than 800,000 new residents. While natural population increases are still significant, many of these new residents have come to Melbourne from interstate and overseas, attracted by a range of education and employment opportunities as well as housing choices.
 - Planning must serve the current and future needs of Melburnians.
 - By 2051, the percentage of Melbourne’s population aged over 65 is projected to increase from 13.8 per cent to 20.5 per cent. This demographic change will present significant challenges for community services and infrastructure.
 - To grow jobs and create accessible, affordable and attractive neighbourhoods, Melbourne needs to take advantage of the land it has available for renewal in the city and suburbs. Increasing the number and diversity of jobs closer to where people live, in places such as suburban employment clusters, health and education precincts and industrial precincts, will help make Melbourne more productive and competitive.
23. In response to the challenges set out as above, Plan Melbourne identifies that Melbourne has *the opportunity to position itself as one of the world’s foremost new knowledge economies, powering the next generation of productivity and economic growth in Australia. To achieve that ambition, Melbourne must develop a series of interconnected learning, working and living precincts across the city (p20).*
24. Plan Melbourne identifies Box Hill central area as a Metropolitan Activity Centres (MAC), with the purpose identified for MAC is:
- To provide a diverse range of jobs, activities and housing for regional catchments that are well served by public transport.
 - To play a major service delivery role, including government, health, education services, as well as retail and commercial opportunities.
25. Furthermore, the Box Hill Hospital and Box Hill TAFE Precinct is categorised under Plan Melbourne as a Health and Education Precinct. Policy 1.4 (p34) *Support the significant employment and servicing role of health and education precincts across Melbourne.*

Major health and education precincts across Metropolitan Melbourne have been identified for further services and growth. These precincts stimulate innovation, create employment and are of fundamental importance to the emerging knowledge economy and surrounding communities.

The policy also identifies the benefit of co-location health and educational facilities.



Map 3

Jobs and investment

- | | | |
|---|--|-------------------------------|
| Central city | Transport gateway - major airport | Urban growth boundary |
| National employment and innovation cluster (NEIC) | Transport gateway - airport | Urban area |
| Metropolitan activity centre | Transport gateway - seaport | Road network |
| Metropolitan activity centre - future | Interstate freight terminal (indicative) | Rail network |
| Health and education precinct | Metro Tunnel (rail) | Waterway |
| Health precinct | | Waterbody |
| Education precinct | | Metropolitan Melbourne region |
| State-significant industrial precinct | | |

Source: Department of Environment, Land, Water and Planning

Figure 4. Plan Melbourne 2017-2050, page 22, nominating Box Hill Central as a MAC and as a Health and Education Precinct.

26. Policy 5.3.2 aims to create health and education precincts to support neighbourhoods. Whilst this Precinct has already been established as playing a key health and education role, the following points are relevant to this Amendment:
- All neighbourhoods need good access to local and regional health services, primary and secondary schools, as well as tertiary education institutions within their metropolitan region. Major regional services and facilities must be provided in locations that are accessible to all members of the community, including those with disabilities.
 - In Victoria, almost 70 per cent of health services are provided by the private sector. The delivery of health and education precincts allows for more tailored planning of community services, including private services, at a local level.
 - Neighbourhood health and community wellbeing precincts will be supported where health and community wellbeing services, such as general practitioners, allied-health services, community health facilities and not-for-profit health providers, are co-located with good public transport access and are close to community infrastructure.
 - Communities also need access to regional health and community wellbeing precincts. That is why hospitals, allied-health services and not-for-profit health providers must be co-located within larger precincts well serviced by public transport and other community services.

5.2. STATE PLANNING POLICY FRAMEWORK

27. The State Planning Policy Framework (SPPF) contains the general principles for land use and development in planning in Victoria. The SPPF sets out specific policies expressing relevant economic, social and environmental factors. It contains a number of policies that are relevant to the Amendment, including:
- Clause 11.06: Metropolitan Melbourne
 - Clause 15: Built Environment and Heritage
 - Clause 19: Infrastructure
28. While I will not set out all policies, in summary I note that there are State Planning Policies which are particularly relevant to the Amendment which include, but are not limited to:
- Clause 11.06 implements Plan Melbourne 2017-2050
Under Clause 11.06-1 Jobs and Investment *Support the significant employment and servicing role of Health and Education Precincts by:*
 - *Focussing on improving access, particularly public transport access.*
 - *Encouraging co-location of facilities to better utilise existing infrastructure.*
 - *Supporting and facilitating growth of associated businesses and industries.*
 - *Reinforcing their specialised economic functions while also providing opportunities for ancillary retail, commercial, accommodation and supporting services.*
 - Clause 15 states that future use and development must recognise and respond to the existing landscape and built form context. Quality built environments can be achieved when new use and development incorporates the following objectives:
 - Contributes positively to local urban character and sense of place
 - Reflects the characteristics, aspirations and cultural identity of the community
 - Enhances liveability, diversity, amenity and safety of the public realm
 - Promotes attractiveness of towns and cities within broader strategic contexts
 - Minimises detrimental impact on neighbouring properties

- Clause 19 seeks for planning to contribute to the provision of social and physical infrastructure required to meet community needs. Specifically, at Clause 19.02-1 Health Facilities, for the development of Health Facilities the following objectives should be achieved:
 - Facilitate the location of health-related facilities (including acute health, aged care, disability services and community care facilities) with consideration given to demographic trends, the existing and future demand requirements and the integration of services into communities
 - Plan public and private developments together, where possible, including some degree of flexibility in use
 - Locate hospitals and other large health service facilities in areas highly accessible to public and private transport
 - Adequate car parking facilities should be provided for staff and visitors

5.3. LOCAL PLANNING POLICY FRAMEWORK

29. The Local Planning Policy Framework (LPPF) builds on State Policy and local strategic planning studies and applies them to a local context. The LPPF consists of the Municipal Strategic Statement (MSS) and Local Planning Policies contained within the Box Hill Planning Scheme:

30. The clauses that are relevant to this Amendment include:

- Clause 21.03: A Vision for the City of Whitehorse
- Clause 21.07: Economic Development
- Clause 22.05: Non-Residential Uses in Residential Areas
- Clause 22.07: Box Hill Central Activities Area
- Clause 22.10: Environmentally Sustainable Development

31. From my review of the LPPF, I note that the primary strategic directions which emerge from these policies are as follows:

- Clause 21.03 includes the City of Whitehorse vision to be: We aspire to be a healthy, vibrant, prosperous and sustainable community supported by strong leadership and community partnerships. The Council Plan (2013-2017) identifies that Council will seek to support a healthy, vibrant community and support a healthy local economy.
- Clause 21.07 draws on *Plan Melbourne* in identifying Box Hill as a Metropolitan Activity Centre, which provides significant opportunities for investment in the health and other sectors. Council recognises the importance of key health and educational institutions and their contribution to the economy of the City. The policy supports expansion of these intuitions and the need to comprehensively plan for these institutions and nearby residents. Key objectives include:
 - *To recognise the important regional role that our tertiary education and health sectors fulfil and provide support for the ongoing viability of these vital institutions such that they are positioned as leading industry providers.*

The relevant strategies to achieve this include:

- Facilitate development within the Box Hill MAC in accordance with the Box Hill Transit City Activity Centre Structure Plan, June 2007.
- Encouraging the development of institutional master plans, which outline the desired future land use and development on the site.
- Clause 22.05 recognises that there is a legitimate need for non-residential uses in residential areas to serve the local community. While Box Hill MAC is not a residential hinterland area, there are a mixture of land uses within the MAC, and areas of the MAC are located within residential zones. Local policy identified that it is important that these uses provide a net community benefit

and are located within an area that is highly accessible, and compatible with the role and function of the street and surrounding area.

- Clause 22.07 seeks to facilitate the development of the Box Hill Central Activities Area as a key activity centre within Melbourne's eastern metropolitan region. Policy objectives include:
 - *To ensure that the Box Hill Metropolitan Activity Centre can continue to expand in line with market demand.*
 - *To ensure that future development within the Box Hill Metropolitan Activity Centre seeks to maximise employment growth for Whitehorse.*
 - *To ensure that Box Hill accommodates a more intensive and diverse range of activities that increase choices and opportunities, support synergies between different uses, encourage use of sustainable transport and complement surrounding areas.*

Consistent with the Box Hill Transit City Activity Centre Structure Plan 2007, Clause 22.07 identifies the subject land as within Built Form Precinct F – which is *Major Development Precinct: taller buildings permitted, enabling increased density. Heights must not cause overshadowing of Key Open Spaces, Residential Precincts A and B or residential areas beyond the study area.* See Figure 5.

BOX HILL METROPOLITAN ACTIVITY CENTRE – BUILT FORM PRECINCT PLAN

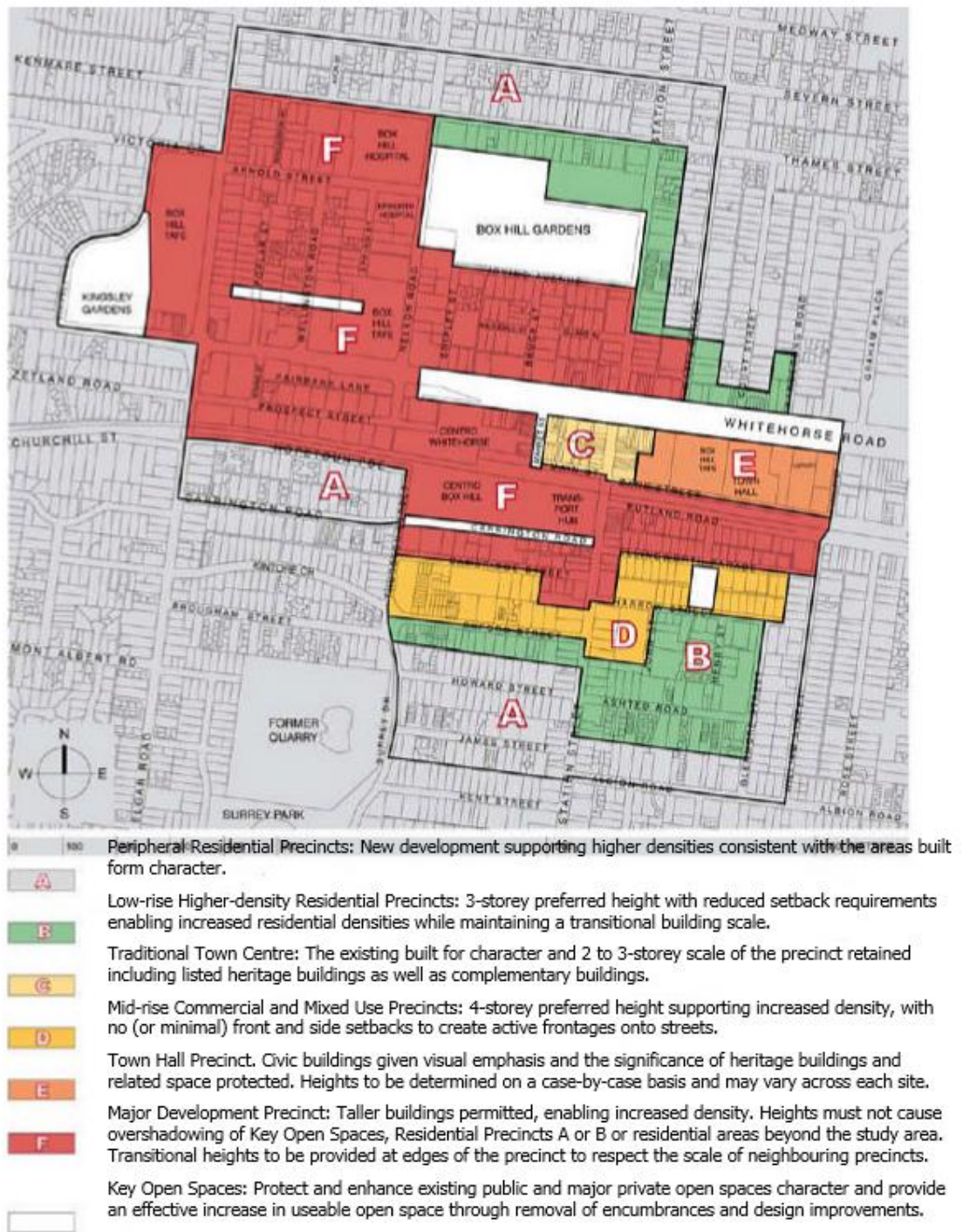


Figure 5. Box Hill Metropolitan Activity Centre – Built Form Precinct Plan at Clause 22.07

- Clause 22.10 recognises Whitehorse City Council’s commitment to creating an environmentally sustainable city.

5.4. BOX HILL TRANSIT CITY ACTIVITY CENTRE STRUCTURE PLAN

32. As part of Melbourne's 2030 strategy (now superseded by Plan Melbourne) for sustainable metropolitan development, Principal Activity Centres and Transit Cities (now recast as MACs) such as Box Hill are expected to develop into high-density, pedestrian friendly urban centres that are intimately connected to public transport.
33. To appropriately manage this growth, the Box Hill Transit City Activity Centre Structure Plan 2007 ("*Structure Plan*") sets out the vision for Box Hill and provides a framework for development that responds to the needs of residents and community groups.
34. The Structure Plan (p6) identifies that Box Hill is (arguably) the main driver of socio-economic wealth in the Whitehorse Local Government Area, and identifies that its clusters of economic activity can be built on to provide increased opportunities for residents and business.
35. The Structure Plan (p6) recognises the health and medical cluster in the Nelson Road/Thames Street/Arnold Street area and states (p11) that Box Hill will be a focus for regional health care, educational facilities, medical services and associated specialist activities. It also identified the education cluster associated with the Box Hill TAFE. To further encourage the growth of this precinct, the Structure Plan nominates the site and the F6 Precinct, as within the *Major Development Precinct: Precinct F*.
36. Section 4.7A of the Structure Plan identifies the Strategy to *Support the continue development of activity clusters*.
37. The Structure Plan includes the following actions:
 - Allow for expansion of health and medical services, especially in the area south of Box Hill Hospital
 - Facilitate an appropriate land use zone and consolidation of properties between Arnold Street and Whitehorse Road to enable health and associated uses and efficient, higher density and higher-rise development complementing the hospitals and TAFE
 - Significantly increase land use densities close to the railway station and in the area between the station, hospitals and TAFE
38. To facilitate these identified objectives, the Structure Plan (p54) recommends a Priority Development Zone, with appropriate recognition of the provisions that currently apply under the existing Public Use Zones and Planning and Environment Act 1987 be applied to this major development precinct.
39. The Structure Plan also includes a range of objectives around protecting public places, improving pedestrian footpaths and network connectivity, encouraging cycling and transport infrastructure, creating more opportunities for housing, and creating street-oriented development.
40. Built form outcomes are set out at Section 4.8, which identifies that:

Buildings in Box Hill should attain an outstanding level of design that contributes to the environment, gives a distinct character to the place, and accommodates the mixtures and densities of activities desired within the Activity Centre.

Redevelopment should provide for:

 - *Minimised front and side setbacks and increased heights to enable significantly increased densities in the Activity Centre.*
 - *Maintenance of the traditional built form character of shops in the block between Whitehorse Road and Market, Main and Station Streets.*
 - *Transitional heights around the core to protect amenity in surrounding residential neighbourhoods where existing heights will be maintained.*

- *Maintenance of the characteristic pattern of buildings set in landscaped grounds within the civic precinct near the Town Hall*
- *Protection of key open spaces from overshadowing.*
- *Design for better public transport access to modes and stops.*

5.5. EXISTING PLANNING CONTROLS

41. The site is in the Residential Growth Zone Schedule 3.

42. The purposes of the zone are:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies*
- *To provide housing at increased densities in buildings up to and including four storey buildings*
- *To encourage a diversity of housing types in locations offering good access to services and transport including activities areas*
- *To encourage a scale of development that provides a transition between areas of more intensive use and development and areas of restricted housing growth*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations*

43. A Parking Overlay Schedule 1 applies to the site. This overlay seeks to manage car parking within the Box Hill Activity Centre.

6. PLANNING CONSIDERATIONS

44. The key issues in the consideration of this proposed Amendment are:

- The appropriateness of the proposed zone.
- Whether the strategic policy context of the precinct has been appropriately considered in the formation of the built form guidelines for the Precinct F6.
- Whether the proposed planning controls are appropriate for Precinct F6, particularly for hospital development which is specifically encouraged in the precinct.

6.1. THE APPROPRIATENESS OF THE PROPOSED ZONE

45. The subject site is currently in the Residential Growth Zone (RGZ) Schedule 1, which was applied when the new Residential Zones were introduced in 2014. Under Amendment C175, it is proposed to rezone the subject site, along with adjoining sites and a large portion of the wider precinct, to the Mixed Use Zone.

46. One of the primary purposes of the RGZ is to provide housing at increased densities up to 4 storeys. I agree that the RGZ is not appropriate for the F6 Precinct where a mix of uses and a much larger scale and density of new development exists and is envisaged.

47. The Box Hill Structure Plan identifies, at page 54, that the land within the Hospital and Western TAFE Precinct should, with the exception of land within the Public Use Zone, be included within the Priority Development Zone (PDZ). The PDZ typically nominates the Minister for Planning as the Responsible Authority.

48. In the absence of applying either a PDZ or the Activity Centre Zone, Whitehorse City Council has sought to apply the Mixed Use Zone.

The purposes of the Mixed Use Zone are:

To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

To provide for a range of residential, commercial, industrial and other uses which complement the mixed-use function of the locality.

To provide for housing at higher densities.

To encourage development that responds to the existing or preferred neighbourhood character of the area.

To facilitate the use, development and redevelopment of land in accordance with the objectives specified in a schedule to this zone.

Under the Mixed Use Zone a planning permit is required (section 2 use) for Hospital and Medical Centre uses.

49. While the purpose of Mixed Use Zone is to provide for a mix of uses, I consider that other Zones would better facilitate the use and development of health and institutional uses. It does not seem orderly or efficient to require a permit for a land use in a Precinct that has been specifically earmarked for its health and educational uses, with clear support at Plan Melbourne, within State and Local planning policy, and within the Structure Plan and Built Form Guidelines.

50. Public Hospitals are generally located within a Public Use Zone, including the Box Hill Hospital. Epworth's other Private Hospitals are located in a range of Zones, mainly on the basis of historic land use patterns. I have been involved in the rezoning process for both the Epworth Geelong

Hospital at Waurn Ponds (co-located adjacent to Deakin University) and Epworth Richmond Hospital into the Special Use Zone, with a tailored schedule. The relevant schedules are SUZ14 to the Greater Geelong Planning Scheme and SUZ5 to the Yarra Planning Scheme, attached at Appendix 3. This approach has allowed the purpose of the Zone to clearly facilitate the use and development accordingly. This zone would be the best fit in the range of Zones, having regard to the identification of Box Hill MAC's health and education focus.

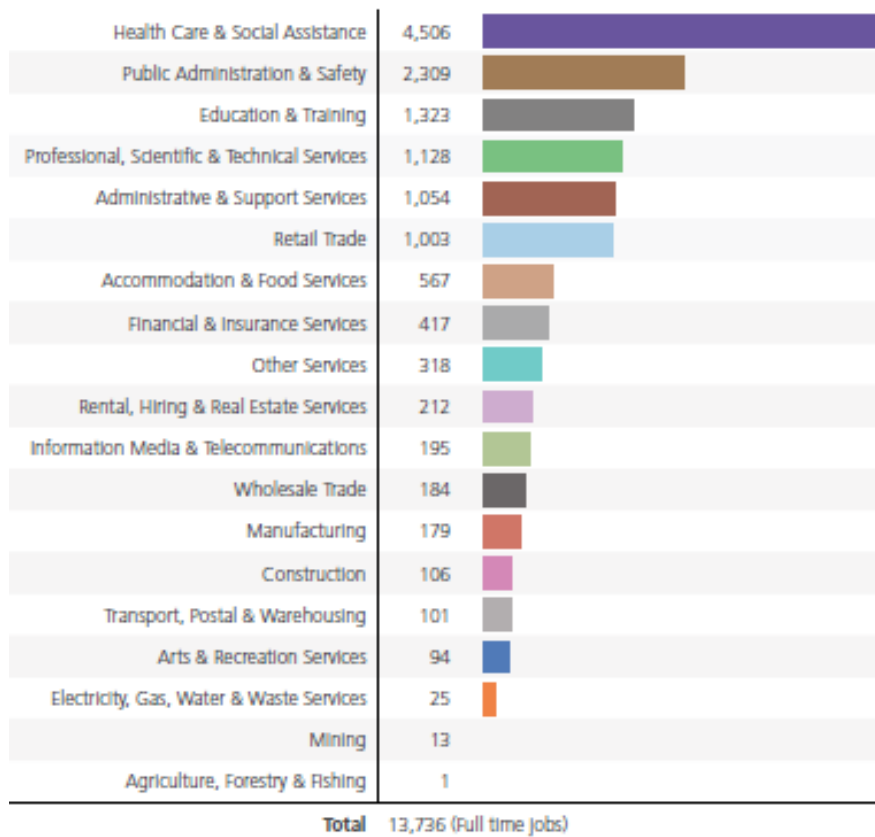
51. However, I note that the Special Use Zone was not exhibited, and a tailored schedule has not been prepared.
52. While I consider that the SUZ would be the preferred zone, I do not consider it is unacceptable to include the land within the Mixed Use Zone, which provides sufficient scope for a broad range of land use outcomes consistent with planning policy.
53. Accordingly, the proposed rezoning is supported.

6.2. STRATEGIC POLICY CONSIDERATIONS

6.2.1. Facilitating Employment Growth

54. Box Hill is one of nine existing Metropolitan Activity Centres (MACs) across Melbourne. The MAC is also identified as a Health and Education Precinct (the Box Hill Health and TAFE Precinct). These locations are identified in Plan Melbourne (and Clause 11.06) of being an important focus of investment and growth.
55. One of the key objectives of Plan Melbourne is to '*create a city structure that drives productivity, attracts investment, supports innovation and creates jobs*'. Box Hill is strategically located in the eastern suburbs, on the Melbourne to Belgrave and Lilydale railway line and the 109 tram route, and is an excellent location for a health and educational cluster that is easily accessible by both local and regional catchments.
56. The purpose of a MAC includes playing a major service delivery role, attracting broad investment in education, health and housing at high densities. It is one of the policies in Plan Melbourne to '*Support the significant employment and servicing role of health and education precincts across Melbourne*' (Policy 1.1.4).
57. Another objective of Plan Melbourne is to create jobs closer to where people live. Box Hill is one of only two Metropolitan Activity Centres in the Eastern Subregion of Melbourne.
58. Local policy within Clause 22.07 Box Hill MAC and the Structure Plan both contain policy objectives for development within the Box Hill MAC to '*maximise employment growth*' (Clause 22.07-2)
59. The Box Hill Health and TAFE Precinct is the key employment and economic powerhouse within Box Hill MAC, and is of key strategic importance to encourage investment and jobs that are easily accessible to local communities and the role they can play in creating economic benefits. According to the City of Whitehorse's *Discover Box Hill (n.d)*, within the MAC, Health Care and Social Assistance category is the largest employer (4,5206 job) and makes the largest economic contribution (\$493,184 Million) (based on 2013 data).

Employment by Industry - Box Hill Activity Centre
All Industries - All Zones



Output by Industry - Box Hill Activity Centre
All Industries - All Zones

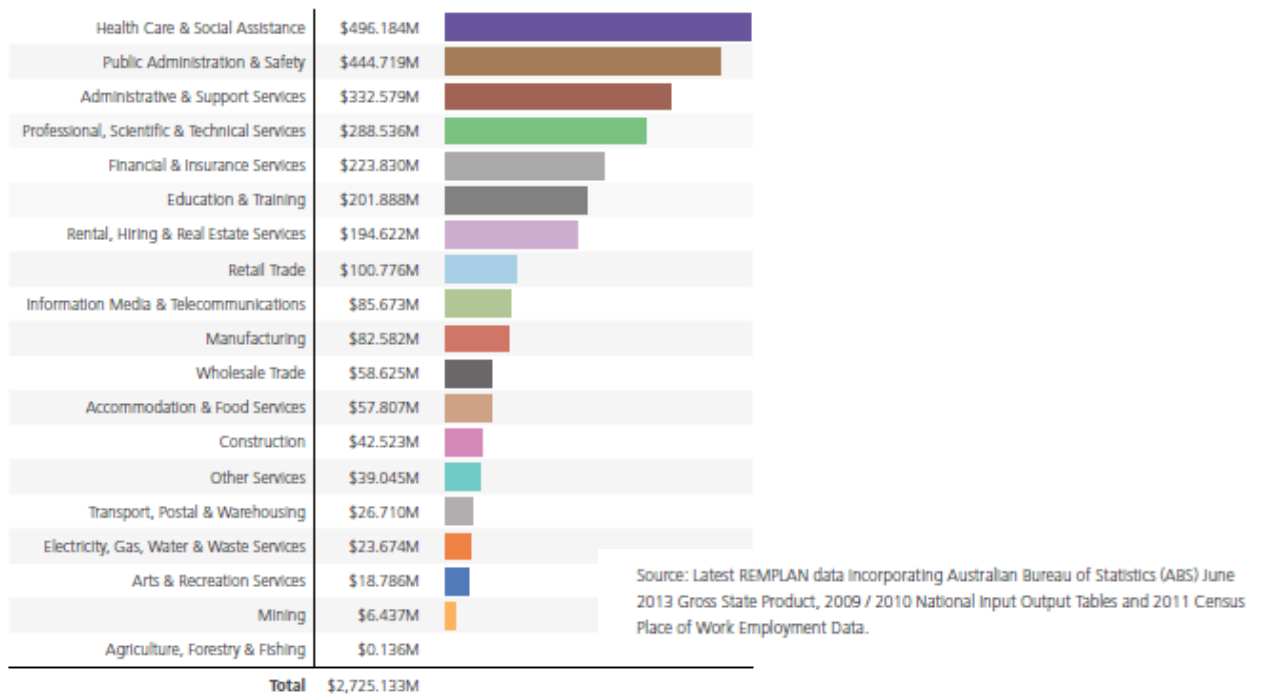


Figure 6. Discover Box Hill, page 12, Whitehorse City Council

60. In order to provide for consistency with State and Local Planning Policy, the Built Form Guidelines for the Box Hill Health and TAFE Precinct F6 should seek to maximise employment-related development, stimulate innovation, and facilitate health and education institutions as leading industry providers. It is my view that Amendment C175 does not seek to implement development controls for Precinct F6 that are consistent with or support this policy framework. I will address these matters in more detail in later sections of my report.

6.2.2. Meeting Future Health Care Demand

61. There is a direct relationship between our ageing population and the reliance on hospital services. The Health Plan 2012-22 reports that we can expect by 2022 that persons aged over 70 years old will account for 45% of hospital bed capacity. The report Australia's Health 2016 (prepared by the Australian Institute for Health and Welfare), sets out future projections for age cohorts to 2042, demonstrating the scale of the challenge in meeting future health requirements. It is predicted that demand for hospital services will increase by 40-50% over the next decade as a result of age related demand, coupled with population growth.

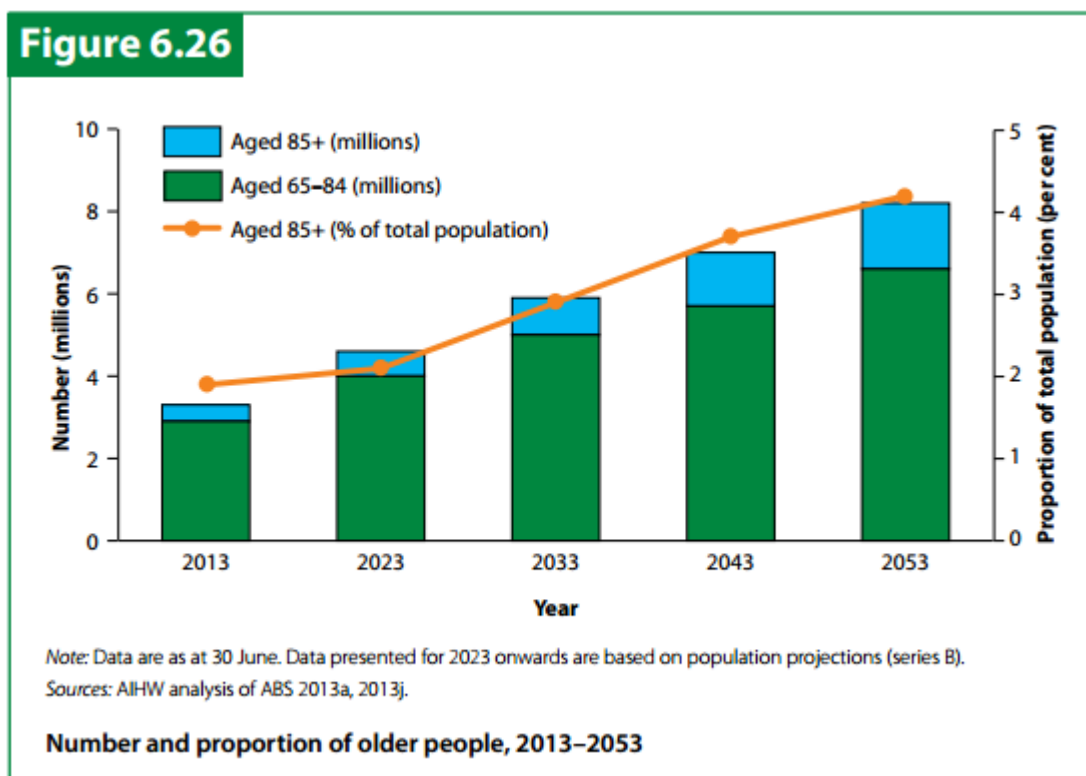


Figure 7. Source Australian Institute of Health and Welfare 2014 Australia's health 2014.

62. Utilisation of hospital services rises rapidly with ageing. According to Australia's hospitals 2014-2015 at a glance, between 2010-2011 and 2014-15, the number of hospitalisations increased by an average of 4% in private hospitals per year. This is compared with a bed increase of 2.9% per year.
63. The trend line continues to exacerbate for the 75+ as a result of technology and the ability to treat patients that were previously untreatable. On average, people aged over 75 years use five times as many health care services than people aged less than 75 years according to the Metropolitan Health Plan 2012- 2022.
64. As the population ages and chronic disease becomes more prevalent, demand for services will increase and more pressure will be placed on our health care and associated systems.
65. While the population of Box Hill is relatively young, with people aged 65 years making up around 13.3% of the population, the Whitehorse Municipal Area and the Inner East Statistical Area have a higher proportion of people over the age of 65, being 17.5% and 17.8% respectively. This is higher than the Greater Melbourne average of 14.0% of people in this age category (Australian Bureau of

Statistics, Census Quick Stats, viewed on 6th July 2017). With more baby-boomers starting to reach retirement age, additional demands on Hospital services is expected.

66. With Hospitals in this Precinct meeting sub-regional and local demands, there is a need for additional health care infrastructure. Ms O'Connor of Epworth HealthCare addresses this issue her statement, and has identified a short-fall of 705 beds to 2031/32, which is required to meet population growth and current unmet demand (shortfall).

6.2.3. Is the Precinct Appropriate for Expanded Health and Education Facilities

67. Under Plan Melbourne, Box Hill has been identified as a Health and Education Precinct.
68. The Structure Plan identifies the vision for Box Hill to become 'the most significant urban centre in Melbourne's eastern suburbs', to be a focus for regional health care, educational and community services and to accommodate growth in these sectors" (amongst other objectives). The Epworth Hospital is located in the Hospital and Western TAFE Activity Precinct, identified for *growth and enhancement of educational and medical institutions and support for related businesses and services, plus high density residential*.
69. Having regard to the above:
- There is unmet health need, and significant projected future demand, based on our ageing population and increasing demand for health and hospital services.
 - State and Local policy specifically identifies the Box Hill Health and TAFE Education precinct an identified location where further economic growth, jobs, innovation and growth of the knowledge economy are supported.
70. As a location identified for both economic development and as an appropriate location for health and innovation, the future planning for Box Hill MAC and Precinct F6 should seek a development control framework that will encourage investment in additional employment, health and community infrastructure to match the future increasing needs. I do not consider this has been achieved in the proposed controls for Precinct F6. I expand on the specific controls in the next section of my report, but will first address the kind of built form outcomes that are necessary to support health land uses.

6.2.4. What Kind of Built Form Outcome is Required?

71. Having identified above that the proposed built form outcomes proposed under DDO6 do not support Hospital requirements, it is worth exploring what kind of built form outcomes are required.

Health Outcomes

72. Hospital development has changed substantially over the last few decades, requiring larger spatial requirements, which influence built form outcomes and preferred layouts. Drivers of these changes include:
- Rather than multi-bed wards, individual patient rooms to assist control infection and provide patient privacy.
 - Ward sizes that provide efficient staffing ratios around central nursing administration points. Rooms are required to have outlook to light under the *Australian Health Facilities Guidelines*.
 - Operating theatres are now larger to accommodate new technology, to provide space for bariatric patients, and to respond to *Australian Health Facilities Guidelines*.
 - Operating theatres are located near intensive care units and recovery, and close to central sterile supply departments to reduce the risk of infection.

Innovation outcomes by clustering

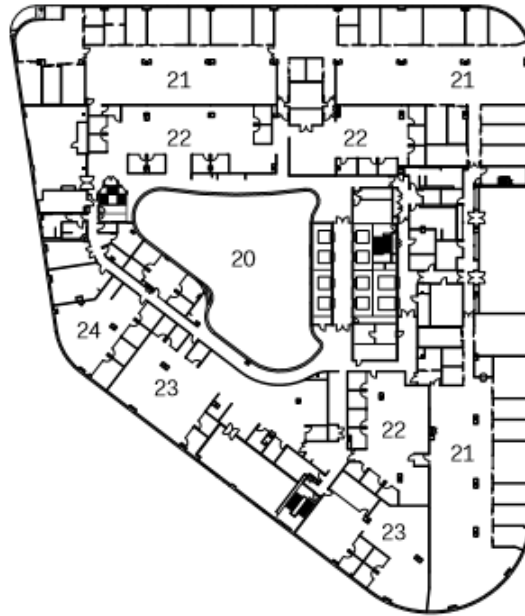
73. Clustering of Hospital and Educational facilities provides opportunity to contribute to not only health outcomes but also the future of Melbourne's economy. By way of example, the Melbourne Biomedical Precinct Partnership, focused around Parkville NEIC, has established itself as a leading global research and teaching powerhouse and one of the top five biomedical precincts in the world. According to the *Melbourne Biomedical Precinct paper* (located on the Royal Children's Hospital website) Critical to its success has been the dense concentration of 25 institutions, located within close proximity to focus research, academic campuses and hospitals to draw talent from across a range of disciplines to work together collaboratively.
74. Innovation and knowledge sharing in a Hospital setting is achieved through communal interaction space, which is both informal and formal, achieved through interconnecting floor plates, large enough to encourage these spaces. Improved training outcomes in clinical settings can be facilitated through live-streamed operations and procedures to students, with live commentary, and by locating students close to mentors and role models. Simulation suites provide opportunities for students to learn in simulated, realistic settings.
75. In short, designing Hospitals requires in-depth specialist knowledge to support efficient and effective operations and seek the best possible patient outcomes. Accordingly, built form controls should be:
- Flexible, particularly in relation to floorplate size and configuration;
 - Provide for connectivity between key functions and between buildings when Hospitals expand; and
 - Optimise patient outcomes, innovation and knowledge transfer.
76. If we consider recent Hospital developments, they tend to be characterised by large floor-plates that inter-connect as much as possible to create an intensive campus form. Below are example floor-plates from the Epworth Richmond development and the Victorian Comprehensive Cancer Centre (VCCC). I note that the VCCC has just been awarded the Victorian Architecture Medal at the 2017 Victorian Architecture Awards, being the highest award.



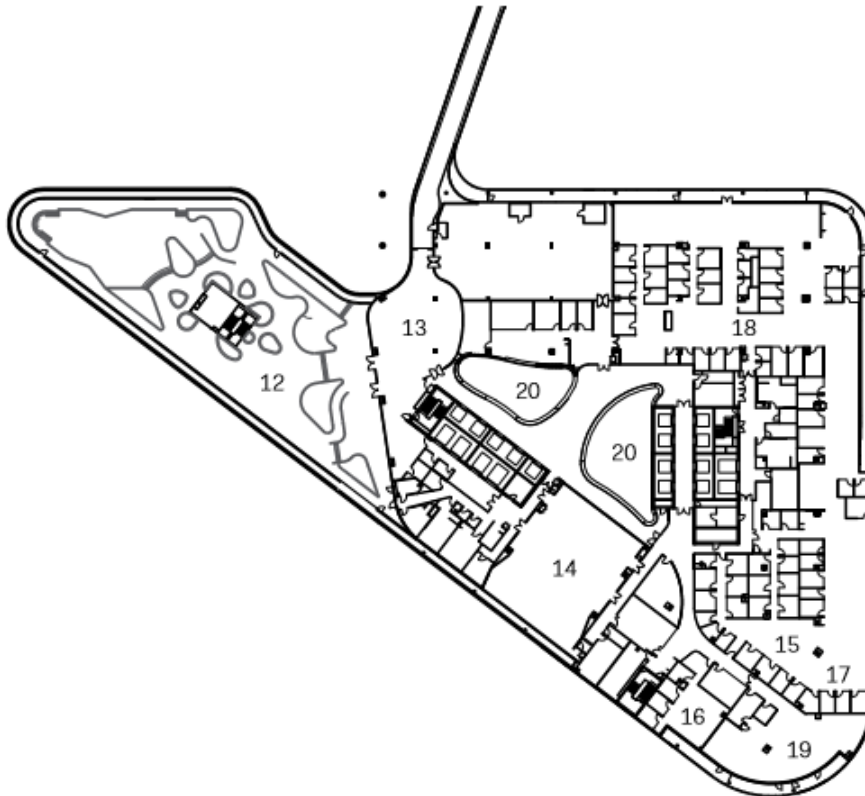
Figure 8. The VCCC, a large, and intensive urban campus bringing together research, patient treatment and care. The building, being 72m / 13 storeys high, includes two skybridge connections across Grattan Street to connect to the Royal Melbourne Hospital (photo source Rebecca McLaughlan and Alan Pert, Australian Architecture, Mar/April 2017, Victorian Comprehensive Cancer Centre).

KEY

- 1 Foyer
- 2 Amphitheatre
- 3 Cafe
- 4 Retail
- 5 Place of Peace
- 6 Reflection gallery
- 7 Peter Mac offices
- 8 Emergency spaces
- 9 Accessible drop off
- 10 Public lifts
- 11 Volunteers' offices
- 12 Cafe court
- 13 Cafe
- 14 Education and training
- 15 Infection control
- 16 Nursing education
- 17 Clinical governance
- 18 Medical staff offices
- 19 Staff facilities
- 20 Atrium
- 21 Research lab
- 22 Write-up
- 23 Dry research
- 24 Administration

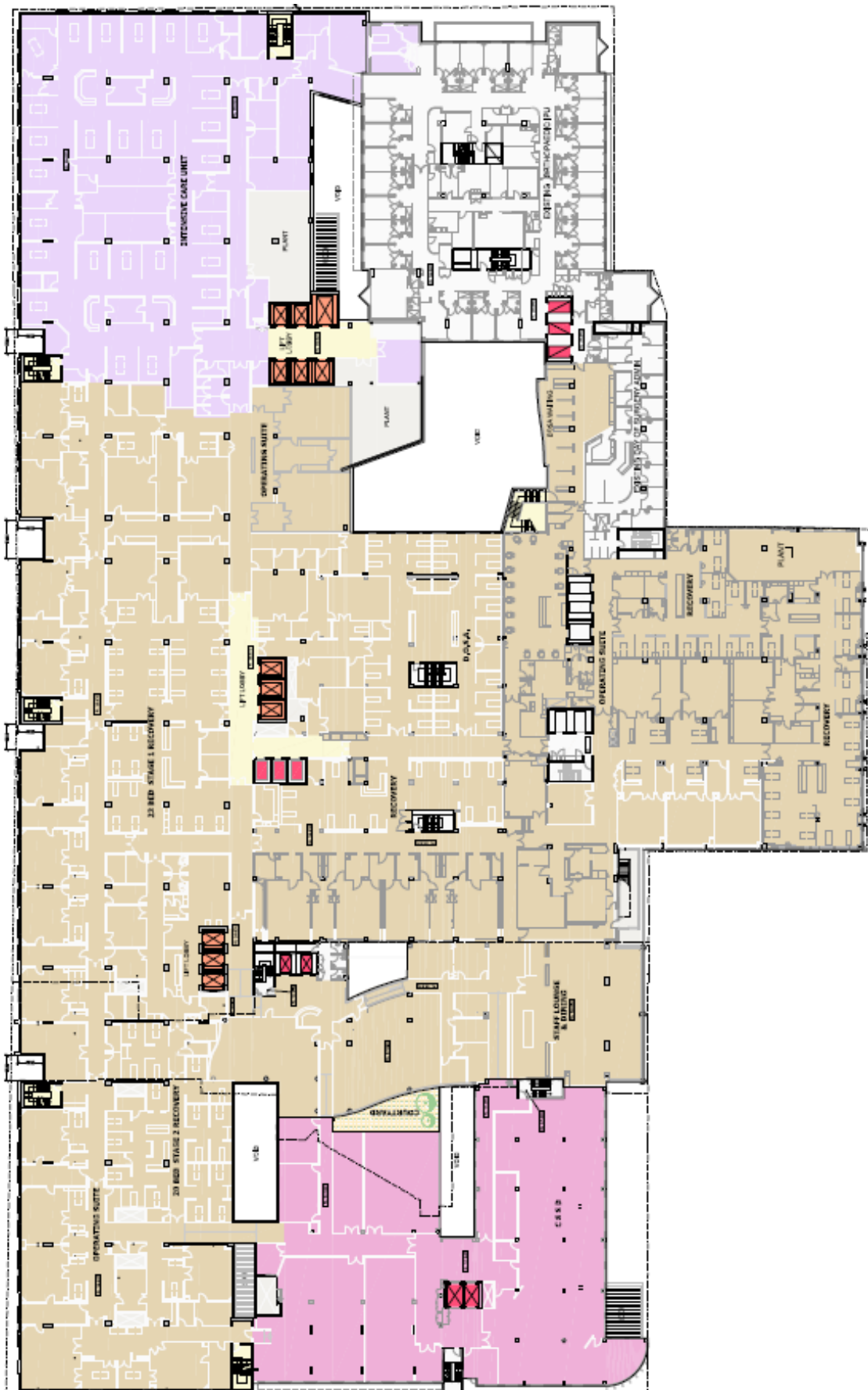


LEVEL 10 FLOOR PLAN
1:1500



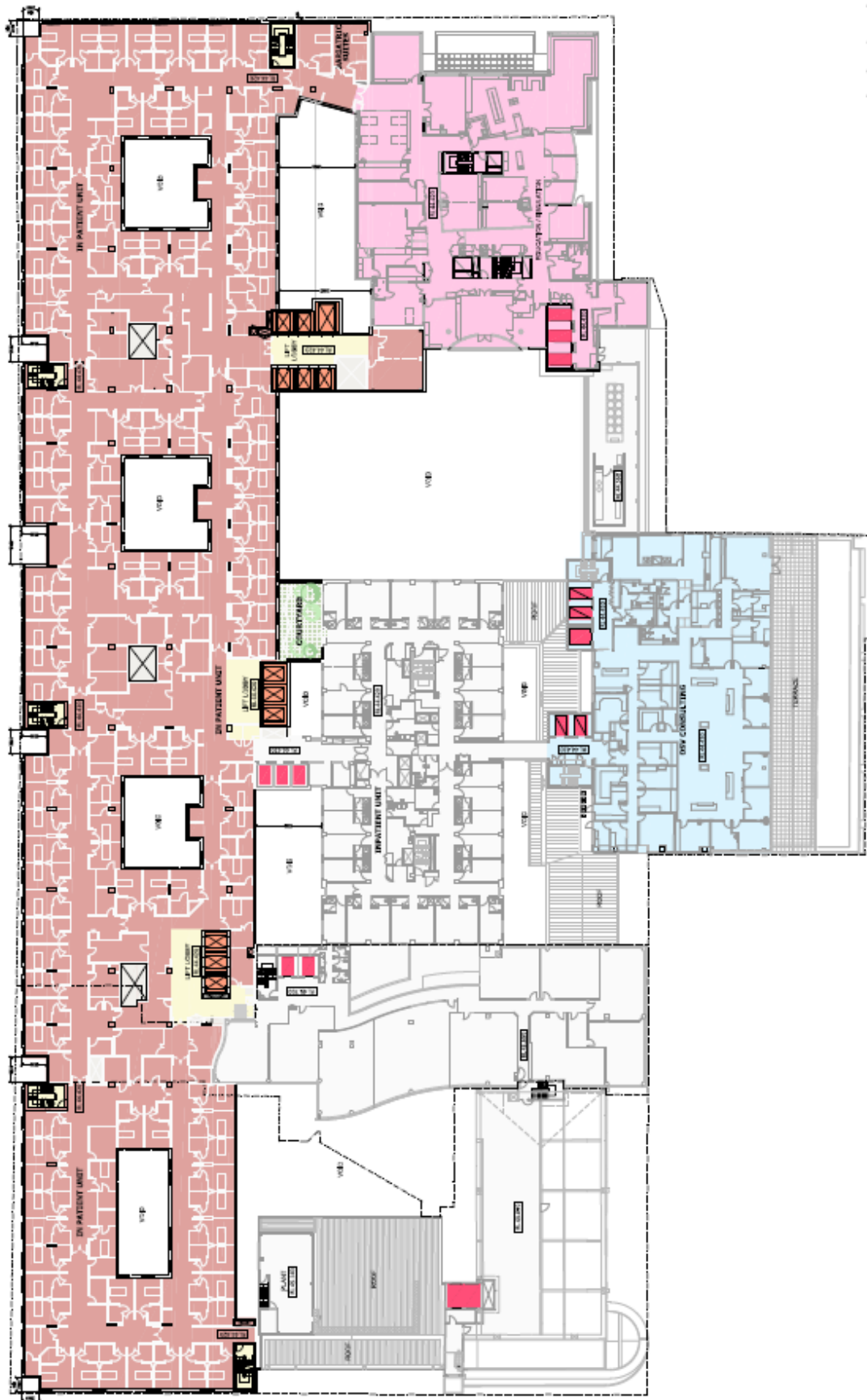
LEVEL 7 FLOOR PLAN
1:1500

Figure 9 Floor plates of the VCCC, showing the diverse range of uses within a Hospital space. The VCCC has used large floorplaces and internal an atrium to connect key functionality both horizontally and vertically (Rebecca McLaughlan and Alan Pert, Australian Architecture, Mar/April 2017, Victorian Comprehensive Cancer Centre).



EPWORTH RICHMOND © 2012

Figure 10. Level 3, Epworth Richmond, an intense urban campus, showing connections between ICU, wards, recovery and operating suites.



INTERNAL LAYOUTS INDICATIVE ONLY

Figure 11. Level 5, Epworth Richmond, showing intensive, connecting floorplates, with wards orientated around central nursing stations, and a new educational, simulation suite for training.

6.3. THE APPROPRIATENESS OF THE PROPOSED CONTROLS

77. While the Amendment documentation is not explicit regarding the rationale for the built form controls for Precinct F6, the controls do have appear to have been developed to facilitate the built form requirements of hospital facilities.
78. The Built Form Guidelines (Precinct F6) and DDO6 seek to create a suburban campus typology, of generous landscape setting with low site coverage, that is not consistent with planning policy expectations for the Box Hill MAC and hospital requirements.

6.3.1. Subdivision Pattern and Site Coverage

79. The proposed subdivision pattern outcome for Precinct F6 sought by the Built Form Guidelines is of *'smaller footprints'* (60% coverage) within *'a generous landscape setting'*.
80. There appears to be no clear policy basis or strategic rationale within the Amendment documentation for aspirations for future character of this Precinct to include a relatively low site coverage.
81. I note that the 60% site coverage nominated for the F6 Precinct is the lowest site coverage nominated within the controls, where the majority of other precincts within the MAC are for 100% site coverage.
82. In my view, these objectives are inappropriate for the sub-precinct and should be amended as they:
- Limit development opportunities which is contrary to the strategic importance of this precinct where the focus is to facilitate 'Major Development', maximise economic development and enhance the health and education precinct delivering high density development and providing jobs.
 - Limits development opportunities to meet the increasing demands for health care provision (as identified above).
 - Does not provide the flexibility for operational requirements of health care, a use encouraged in this location by State and Local Policy.
83. Further, the subdivision pattern identified for Precinct F6 in the Built Form Guidelines is not consistent with Structure Plan. The Amendment seeks to retain the Structure Plan as a reference document as Clause 21.07, Clause 22.07 and include within proposed DDO6. The Structure Plan includes the Built Form outcomes as appropriate being *'minimised front and side setbacks and increased heights to enable significantly increased densities in the Activity Centre'*.
84. Furthermore, the Structure Plan for the Major Development Precinct (Precinct F) identifies ground floor setbacks to *'avoid front and side setbacks'* (page 61 of the Structure Plan), which is a very different built form outcomes compared to the one sought for Sub- Precinct F6 under Amendment C175.
85. Further, a number of these sites, including the Box Hill Public Hospital, the Epworth Eastern and the Box Hill TAFE (Elgar Campus) are already above 60% site coverage with existing building envelopes. Adopting a planning control that identifies the preferred site coverage of 60% may in effect sterilise or severely limit these sites from any further (horizontal) expansion, an outcome which is at odds with State and Local policy for this area.
86. I consider that 60% site coverage is insufficient to facilitate the sufficient development opportunities afforded by land within the F6 Precinct, and will undermine the future potential of this Precinct to contribute to broader policy aspirations. Specifically with regards to future expansion of the Epworth Eastern, a site coverage of 60% does not provide flexibility for expansion of the Hospital. I consider it inappropriate to constrain development in this way, and recommend this requirement is deleted. The outcome should for built form guidelines to facilitate an intense urban hospital campus, providing for

some landscaping to soften street fronts and provide for internal landscaping spaces and services if and where appropriate.

87. The objective of '*encouraging taller forms with smaller footprints with a generous separation between buildings*' is not consistent with the building typology and operational requirements of hospital uses. To facilitate hospital use requires connected building forms to allow efficient functionality, innovation and research opportunities through integrated and interconnected floorplates. The advancements in health services and surgical and treatment facilities require specific building standards, dimensional requirements and access arrangements which strongly influence the building form. The Built Form Guidelines proposed fail to recognise the functional requirements of hospital uses in the very precinct where they are specifically encouraged to enhance the health and education precinct.
88. I consider that there is no clear rationale for the site coverage and urban form pattern sought, and in my view are inappropriate for a precinct identified for its existing and future potential to contribute to economic development and the location and expansion of health care facilities.
89. Having regard to the above, it is my recommendation that the Precinct objectives should be revised as follows:
- *To support high density/intuitional development, with landscaping at street frontages.*
 - *To support innovation and provide flexibility for health, educational and employment uses.*
 - *To encourage lot consolidation for medium and smaller sites.*
90. It is my recommendation that the built form response be revised as follows:
- *Delete the requirement for 60% site coverage*
 - *Delete the reference to plot ratios for large sites. There is no nomination of what the plot ratio is proposed to be, nor any rationale in the amendment documentation for this approach.*

6.3.2. Separation Between Buildings

91. The Built Form Guidelines seek a minimum 10 metre separation between buildings. As discussed above, applying building separation objectives to the F6 Precinct must be handled in a way that maintains design flexibility for Hospitals. The requirement for a 10 metre separation between buildings may impede the ability of the hospital to meet its operational requirements, does not optimise patient care and is not consistent with risk minimisation. Interconnected buildings and floorplates are essential.
92. The rationale for building separation is set out on page 33 of the Built Form Guidelines, and includes objectives of providing daylight and ventilation (amenity), privacy, visual relief and retaining visual links, reducing overshadowing and providing opportunities for substantial canopy trees and landscaping between buildings. These matters can be summarised as residential amenity and urban form/ landscaping.
93. Tall buildings that are spaced 10 metres apart are generally sought in high density residential areas where the protection of residential amenity is required. This requirement can be discounted as a mandatory requirement in relation to non-residential uses, acknowledging that some consideration of daylight and amenity should also be considered for non-residential uses. Daylight remains an important part of hospital wellbeing design, but in a different way to standard residential consideration if daylight access.
94. Turning to the urban form and landscaping outcomes, the separation distance appropriate should be assessed on a case by case basis and not applied to the Precinct as a whole. An objective of the Built Form Guidelines is to "*ensure buildings 'frame' key viewlines*". The Built Form Guidelines identify aligning a key view line with priority pedestrian links, maintaining view corridors to key open space, and long range vistas identified towards Doncaster to the north and the Dandenong Ranges to the east. The construction of larger buildings on the Epworth Hospital sites will not impact view lines along the pedestrian link identified between Elgar Road and Box Hill Institute (Nelson Campus) and in the context of development up to 37 storeys within the MAC, is not expected to unreasonably impact on longer viewlines, given the preferred height limit of 15 storeys.

95. Having regard to the above, I consider the requirement for the 10 metre separation distance should not be applied to non-residential development and consider this should be amended as a built form guideline as follows:
- A minimum of 10m separation between buildings (residential uses only).
 - Where possible, opportunities for building separation between non-residential buildings should be explored to provide for view lines and to accommodate landscaping.

6.3.3. Building Height

96. I consider the proposed discretionary height control of 15 storeys acceptable for the precinct and allows for significant development with the strategic context of the area. As I have noted, in Hospital development flexibility and interconnected floorplates tends to be of greater importance than building height.
97. I note that on page 29 of the Built Form Guidelines, that the buildings heights have been based on the following:
- *Retail/commercial: 4.5m floor to ceiling height*
 - *Residential 3.0m floor to ceiling height*
98. Accordingly, under a control of 15 storeys, a building of between 45m – 67.5m+ could result, depending on the land use/s. I consider that a building of this height range and above is appropriate having regard to the context of planning policy objectives for maximising economic development within the MAC, and the intense building forms encouraged by the Structure Plan.
99. One of the key issues for building height is avoiding overshadowing of Box Hill Gardens during the Winter Solstice. I support this performance based objective.

6.3.4. Landscape Objectives and Built Form Response

100. The Precinct objectives identify a generous landscaped setting, with pedestrian linkages through sites, provision of public spaces and landscaped setbacks.
101. Proposed build form outcomes include landscape setback to all street edges (minimum 8m).
102. I note that the built form outcomes for the majority of other sub-precincts in the MAC apply a 100% site coverage is the preferred built form outcome.
103. The requirement for an 8 metre setback is inconsistent with the Structure Plan which seeks that *'Redevelopment should provide for minimised front and side setbacks and increased heights to enable significantly increased densities in the Activity Centre'*. In line with this, zero front setbacks are sought for the majority of sub-precincts in the MAC.
104. I agree that some form of landscaping at ground level will provide may be appropriate where a variety of built form outcomes are sought. Landscape at the street edges will provide for flexibility for institutional type of buildings where larger floorplates are appropriate, however the requirement for 8 metres seems unnecessarily, is uncharacteristic of the area, and may impede the use of land for hospital and health uses.
105. Epworth, in their submission to Council, identified that they require cross-overs and patient drop-off areas, which are integral to Hospital Developments, and requested these be allowed for within the front landscaped areas. I do note that Council, in their response to submissions, have noted that *cross-overs and drop-off areas can be considered during the consideration of a planning application*. This response provides no clarification as to the potential for this outcome.
106. There are operational requirements for crossovers and drop off areas to support Hospital functions, which need to be located within front setbacks.

107. On this basis, in my view this requirement should provide flexibility, respond to the proposed built form outcome, and primarily be used to soften the street interface.

6.3.5. Form and Content of the DDO6

108. In a Ministerial Direction on *The Form and Content of Planning Scheme, 9 April 2017*, in relation to Design and Development Overlays, there is a revised form to guide the preparation of this control.
109. Of relevance, the control identifies that a maximum of 5 objectives are appropriate to be included under Clause 1.0 Design objectives. Draft DDO6 does not comply this with direction.
110. Further, at Clause 2.0 Buildings and Works, the *Ministerial Direction* identifies that specific permit requirements should be included and that the control should outline where no permit is required. Having regard to the draft DDO6, Clause 2.0 is primarily a list of further objectives and built form responses. I recommend these are simplified, and that clear permit triggers and exemptions are defined, in line with the Direction.

7. CONCLUSION

111. My opinions with regard to proposed Amendment C175 can be summarised as:

- The proposed application of the Mixed Use Zone is acceptable, albeit other zones would better facilitate health uses.
- The strategic policy context of the Precinct has not been appropriately considered in the formation of the built form guidelines for Precinct F6 and changes are required to provide alignment with the planning policy framework.
- The proposed planning controls are inappropriate for Precinct F6, particularly for hospital development which is specifically encouraged in the precinct.

112. In my view, I recommend the following changes are made to the Built Form Guidelines and DDO6 for Precinct F6:

Table 1 – Recommended changes to Built Form Guidelines and DDO6 for Precinct F6

Section	Current wording	Proposed wording
DDO6 Design Objectives 'Architecture and Building Articulation' (page 2)	To limit maximum street wall to street width ratio to 2:1 to ensure that taller buildings do not dominate the street, compromising pedestrian experience.	To limit maximum street wall to street width ratio to 2:1 to ensure that taller buildings do not dominate the street, compromising pedestrian experience, <u>except in Precinct F6.</u>
DDO6 Design Objectives 'Building Depths' (page 2)	To avoid the practice of using borrowed light for internal rooms.	To avoid the practice of using borrowed light for internal <u>residential</u> rooms.
Table 8 Sub-Precinct F6 Guidelines Subdivision Pattern Precinct Objectives (Page 17)	To support high density education/institutional development, within a generous setting at the ground level (campus style). To encourage taller forms with smaller footprints with generous separation between buildings.	To support high density education/institutional development, <u>with landscaping at street frontages.</u> within a generous setting at the ground level (campus style). To encourage taller forms with smaller footprints with generous separation between buildings. <u>To support innovation and provide flexibility for health, educational and employment uses.</u>
Table 8 Sub-Precinct F6 Guidelines Subdivision Pattern Built Form Response (Page 17)	60% site coverage A plot ratio approach is applicable on extra large sites.	60% site coverage A plot ratio approach is applicable on extra large sites. <u>Where possible, opportunities for building separation between non-residential buildings should be explored to provide for view</u>

Section	Current wording	Proposed wording
		<u>lines and to accommodate landscaping.</u>
Table 8 Sub-Precinct F6 Guidelines Key Views Built Form Response (Page 19)	A minimum 10m separation between buildings.	A minimum 10m separation between buildings <u>(residential uses only).</u> <u>Where possible, opportunities for building separation between non-residential buildings should be explored to accommodate landscaping.</u>
Table 8 Sub-Precinct F6 Guidelines Landscape Built Form Response (Page 19)	Landscape setback to all street edges (minimum 8m).	Landscape <u>at ground level to setback all priority pedestrian street edges (minimum 8m).</u> setback <u>Cross-overs and drops offs may be included within landscape setbacks where appropriate.</u>

Appendix 1

SUMMARY OF EVIDENCE AND PERSONAL DETAILS

1. Name and Professional Address of Expert

Sarah Macklin (nee Walbank)

Director – Urban Planning

Urbis Pty Ltd

Level 12, 120 Collins Street, Melbourne VIC, 3000

2. Qualifications

- Bachelor of Applied Science (University of Queensland) 1996
- Master of Environmental Management (Planning and Environment) Griffith University 2005
- Member Victorian Planning and Environmental Law Association (VPELA)
- Member Australian Health Design Council

3. Experience

- Queensland Government, Natural Resource and Catchment Planning, 1997-2001
- London Borough of Enfield, Planner (development control and policy), 2002-2003
- Office of the Deputy Prime Minister (Planning Policy Unit), London, 2004
- EDAW Consultancy (London), Senior Planner 2005-2006
- Commission for Architecture and the Built Environment (CABE), Senior Planning Policy Officer, 2006-7
- Urbis, Senior Planner 2007 – 2010
- Urbis, Associate Director 2010 – 2016
- Urbis, Director 2016 - present

3. Area of expertise includes

- Statutory and strategic planning for retail and activity centre planning, health planning, residential developments, commercial developments including Central City Office, mixed use developments.
- General planning advice on planning issues affecting property development and urban development.

4. Expertise to prepare this report

I have experience on a range of health care and hospital projects, including:

- Advisor to Department of Health and Human Services on rezoning land and planning advice to facilitate the South West Cancer Centre at Warrnambool.

- Epworth Richmond, Bridge Road (part constructed)
- Epworth Geelong Teaching Hospital development (stage 1 completed)
- Approved expansion of the Epworth Hawthorn Rehabilitation Hospital, Hawthorn East
- Approved Grey Street Cancer Centre at Epworth Freemasons, East Melbourne (for Epworth HealthCare and Generation Healthcare).
- Epworth Eastern Theatres Project

In addition, I have also inspected the following Hospital developments prior to, or on completion:

- Victorian Comprehensive Cancer Centre
- Monash Children's Hospital
- Royal Children's Hospital
- Olivia Newton John Wellness and Research Centre, collocated with the Austin Hospital, Heidelberg

Planning review and advice into a range of Structure Plans, including:

- Preparation of Fountain-Gate Narre Warren CBD Structure Plan 2016, for Casey Council
- Involvement in the Highpoint Activity Centre Structure Plan, and UDF, for GPT and in collaboration with Maribyrnong City Council
- Other strategic planning process submissions, including Melbourne Planning Scheme Amendment C270 (Built Form Controls) and C171 (Southbank Structure Plan)

I am currently advising Epworth HealthCare and Vital Healthcare on the permit application that has recently been refused (30th June 2017) by Whitehorse City Council for the expansion of the Epworth Eastern hospital through the development of the land at 25 Nelson Road for a 15 storey building and part refurbishment of the existing hospital. The day to day running of this application is being managed by another staff member at Urbis, Emilie Johnston.

4. Other significant contributors

I was assisted in the preparation of this report by Claire Betteridge, Associate Director at Urbis.

5. Instructions

I am engaged by Epworth HealthCare and Vital Healthcare Property Trust.

I am instructed by Gadens Lawyers.

6. Facts, matters and assumptions relied upon

- Inspection of the site and surrounds
- Planning policy, including Plan Melbourne, the Whitehorse Planning Scheme, the Structure Plan and Amendment documentation
- Inspection of the site and surrounds
- Inspection of other Hospital facilities

7. Documents taken into account

- The Whitehorse Planning Scheme Amendment C175 amendment documentation and draft Built Form Guidelines

- The Whitehorse Planning Scheme and reference documents
- Witness Statement of Louise O'Connor
- Australasian Health Infrastructure Alliance *Australian Health Facilities Guidelines*
- Endorsed plans for Epworth Richmond redevelopment, Bridge Road, Richmond
- Population, employment statistics, health statistics as referenced in my statement
- Melbourne Biomedical Precinct,
<http://www.rch.org.au/uploadedFiles/Main/Content/rch/Melbourne-Biomedical-Precinct.pdf>
- Rebecca McLaughlan and Alan Pert, Australian Architecture, Mar/April 2017, Victorian Comprehensive Cancer Centre.

8. Summary of opinions

- As set out in my statement

9. Questions outside my area of expertise, incomplete or inaccurate aspects of the report

- This report is complete and accurate to the best of my knowledge.



Sarah Macklin

Appendix 2

TRACK CHANGED VERSION OF DDO6

-/-20-
C-

SCHEDULE 6 TO THE DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO6**.

BOX HILL ACTIVITY CENTRE BUILT FORM GUIDELINES

1.1

-/-20-
C-

Design objectives

Street Frontages

- To ensure buildings contribute to the high quality of public streets and public spaces.
- To ensure buildings are of a scale that is appropriate to public streets and spaces.
- To require building entrances and windows to be oriented to maximise “passive surveillance” of the public realm and support a safer environment.
- To ensure there is a clear distinction and separation between public “fronts” and private “backs” of buildings.
- To minimise the visual and functional impact of car parking areas and their entrances on the public realm.
- To maximise activation at the ground level.
- To minimise the visual and functional impact of loading and servicing areas on the public realm.
- To ensure all streets, lanes, parks and other public spaces enjoy a high level of surveillance, activity, access to sunlight and visual amenity from adjoining buildings.
- To provide opportunity to create street landscape character.
- To discourage lot consolidation of traditional fine grain allotments in the town centre.

Weather Protection, Awning & Verandahs

- To provide shelter and shade over public footpaths in buildings within Sub-Precincts C/F1, F2-F5 and F8 (Refer to Map 2).
- To activate ground floor street frontages of buildings within Sub-Precincts C/F1, F2-F5 and F8.
- To enhance the visual amenity and continuity of streetscape.
- To reflect the existing style and character of weather protection within Box Hill.

Architecture and Building Articulation

- To provide buildings which contribute to a high quality human scale within the street and public realm (both vertically and horizontally).
- To ensure new buildings contribute to maintaining the “fine-grained” nature of built fabric in Box Hill town centre within Sub-Precincts C/F1.

WHITEHORSE PLANNING SCHEME

- To ensure building elements are integrated into the overall building form and design.
- To encourage architectural expression to enhance a strong sense of place in Box Hill.
- To ensure architecture and design broadly reflects the heritage and culture of Box Hill.
- To encourage consistent street wall definition that responds to its street width, except for where a traditional street wall exists.
- To limit maximum street wall to street width ratio to 2:1 to ensure that taller buildings do not dominate the street, compromising pedestrian experience, [except in Precinct F6-](#)
- To ensure new 'insertions' behind and above sites within a Heritage Overlay are appropriate and do not dominate the traditional street wall and heritage forms.

Pedestrian Access

- To ensure pedestrian entries to buildings are safe, clear and legible.
- To ensure there is equitable access to buildings for people of all abilities.

Vehicle Access

- To ensure vehicle access to and from a development is safe, manageable and convenient.
- To ensure the number, location and design of vehicle cross-overs minimises impact on pedestrians and has regard for the relevant objectives set out under "Street Frontages".
- To ensure vehicle entries to developments do not dominate the street façade and are consolidated where possible.

Building Depths

- To optimise opportunities for natural cross-ventilation of buildings.
- To optimise access to natural daylight in dwellings.
- To ensure building adaptability and a change of use within buildings is considered.
- To avoid the practice of using borrowed light for internal [residential](#) rooms.

Building Separation

- To ensure buildings achieve adequate access to daylight and ventilation.
- To assist with the provision of visual separation between buildings to increase privacy and to reduce noise transfer.
- To create proportional streetscape and massing scale in keeping with the desired character area for each precinct.
- To maximise visual relief and retain visual links to key open spaces.
- To minimise the overshadowing impact of new buildings on the lower levels of adjoining nearby buildings.

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- To provide increased ability for substantial canopy trees and landscaping between buildings.

Overshadowing

- To ensure sufficient daylight into living rooms and private open spaces is achieved.
- To minimise the shadow impact of buildings on the living spaces and private open spaces in adjoining buildings.
- To ensure a high level of amenity is retained by minimising the impact of overshadowing onto key open spaces, plazas and parks.

Landscaping

- To ensure landscaping supports the urban character of the Box Hill Activity Centre and the materiality of the public realm.
- To ensure high quality landscaped streetscapes are provided for safety, visual amenity and weather protection.
- To encourage high quality, safe and accessible landscaping in streets, parks and other public places.
- To encourage high quality landscaped areas in developments for private use by residents to be provided.
- To encourage landscaped areas that are sustainable and promote local biodiversity.
- To ensure landscaping allows visibility in the public realm so as to allow “natural surveillance” of the public realm from private property.
- To encourage street trees that provide deep shade in summer, and allow solar penetration in winter.
- To encourage green infrastructure opportunities such as green walls and roofs and rain gardens.
- To encourage pedestrian scaled public spaces that incorporate landscaping at ground level.

Viewlines

- To protect and frame valued viewlines to the Dandenong Ranges.
- To frame viewlines to existing individual significant heritage buildings and to key open spaces.

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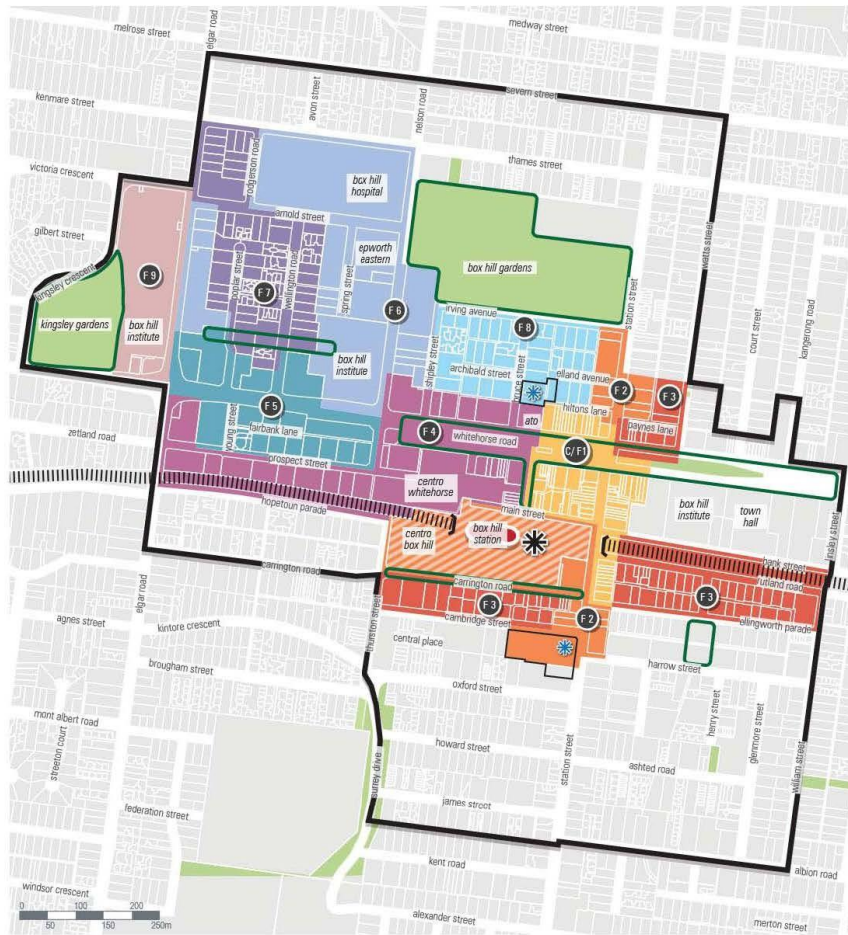
Map 1 –Box Hill Transit City Built Form Precincts



- A** Peripheral Residential Precincts: New development supporting higher densities but consistent with the areas' existing built form character.
- B** Low-rise Higher-density Residential Precincts: 3-storey height limit with reduced setback requirements enabling increased residential densities while maintaining a transitional building scale.
- C** Traditional Town Centre: The existing built form character and 2 to 3-storey scale of the precinct retained including listed heritage buildings as well as complementary buildings.
- D** Mid-rise Commercial and Mixed Use Precincts: 4 storey height limit supporting increased density, with no (or minimal) front and side setbacks to create active frontages onto streets.
- E** Town Hall Precinct: Civic buildings given visual emphasis and the significance of heritage buildings and related spaces protected. Heights to be determined on case-by-case basis and may vary across each site.
- F** Major Development Precinct: Taller buildings permitted, enabling increased density. Heights must not cause overshadowing of Key Open Spaces, Residential Precincts A or B or residential areas beyond the study area. Transitional heights to be provided at edges of the precinct to respect the scale of neighbouring precincts.
- Key Open Spaces:** Protect and enhance existing public and major private open spaces' character and provide an effective increase in useable open space through removal of encumbrances and design improvements.

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Map 2 Sub-precinct boundaries



legend

structure plan study area		precinct F-3		precinct F-8		proposed development subject to separate design brief for built form and urban design	
railway line		precinct F-4		precinct F-9		existing open space	
railway station		precinct F-5		key open space / link		strategic development site	
precinct C/ F-1		precinct F-6					
precinct F-2		precinct F-7					

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Buildings and works

Buildings and works should be developed in accordance with the following requirements. Additional requirements relating to each sub-precinct are specified in Tables 2-11.

Street Frontages

- Buildings should be sited close to the street boundary with buildings fronting streets, creating a clear separation between public “fronts” and private “backs”.
- Buildings in the low rise higher density residential precinct (Precinct B) should match the front setbacks of adjoining buildings, adopting the lesser setback where existing buildings on each side differ.
- In the mid-rise commercial and mixed use precinct (Precinct D) avoid front setbacks, and unless required for access avoid side setbacks.
- Buildings should prioritise pedestrian access and activation to primary building frontages.
- Buildings should provide access and activation to all boundaries that abut a street/adjoin a street abuttal.
- Buildings with commercial uses at ground floor should provide clear unobstructed glazing to 70% of the width of the street frontage of each individual occupancy.
- Buildings with residential uses at ground floor and balconies facing the street should have the ground floor raised up at least 0.5m and no more than 1.3m above footpath level to achieve privacy on balconies.
- Buildings should provide for its occupants’ privacy at interfaces with adjoining properties with appropriate measures such as party walls and translucent glazing.
- Service equipment such as electrical substations, water and gas meters, fire booster pumps, and the like, should not be located along the primary street frontage. If no reasonable alternative exists, these should minimise impacts on the street and be incorporated into the architecture of the building.
- Ground level windows should be provided to achieve passive surveillance of the street and avoid large blank walls.
- Where possible, car parking areas, loading and service areas should be located along rear lanes or secondary streets to minimise their visual impact on the streets and public realm.
- Car parking access should not dominate the ground level, with crossover and garage entry widths minimised to maintain as much active frontage to the building as possible.
- In the low rise higher density residential precinct (Precinct B) car parking at the street frontage of buildings should be avoided.
- In the mid-rise commercial and mixed use precinct (Precinct D) and the Town Hall precinct (Precinct E) ground level car parks or parking in structures with exposed street frontages should be avoided.

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- Basement/semi- basement structures should be no more than 1m above the ground and allow the roof of the basement parking structure to serve as private/communal open space.
- Ground level setbacks from the street edge should make adequate provision to incorporate landscaping.
- Building design should maximise outlook and passive surveillance/visibility over the public realm.

Weather Protection, Awning & Verandahs

- All buildings along commercial streets within the Box Hill town centre (Sub-Precinct C/F1) should provide fixed awnings and weather protection over the public footpath.
- Awnings and verandahs should be designed to indicate entries to buildings or shops, and provide adequate protection from sun and rain for pedestrians using footpaths.
- Awnings should be consistent with existing awning heights, rhythms, human scale and character in order to maintain consistency along the edge of the public realm

Architecture and Building Articulation

- Buildings should be designed with an appropriate scale, rhythm and proportion to its use and context.
- Over-articulation of façades and the use of false heritage elements should be avoided.
- The design of a building should be three dimensional, with building volumes, façades and building elements such as entries, interior public spaces, drainage, security, services, heating and air conditioning, and telecommunications appropriately integrated into the overall design.
- Buildings should have clearly articulated lower, middle and upper levels and materials should reflect and demarcate the role of each part of the building.
- Building articulation should reflect the structural logic of the building and avoid reliance of pattern to provide perceived articulation.
- Where new buildings are designed abutting buildings with heritage significance, the design of the new building should respond to the context of the heritage building with appropriate scale, rhythm and proportion, and engage in an architectural response with the heritage building.

Pedestrian Access

- Pedestrian entries should be clearly visible and designed to signify entry to the building.
- Building architecture should reflect the position of the building entry through variations in the roofline, architectural emphasis, vertical elements, and design of awnings.
- Buildings which face in two directions (such as a street and a lane) should provide direct access to the lift lobby from both directions.
- Pedestrian access ramps should be located for convenience and be integrated into the overall design without taking up the whole frontage.

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- Direct visual access from the street to the lift lobby should be provided.
- Buildings should clearly differentiate between residential and commercial entries in mixed use buildings.
- Pedestrian entries to buildings should be well lit during the night and entry lobbies should not contain places for concealment or entrapment in their design.
- In the Town Hall precinct (Precinct E) mid-block pedestrian links between Whitehorse Road and Bank Street should be maintained and improved.

Vehicle Access

- Vehicle access should:
 - Be designed to allow convenient, safe and efficient vehicle movements and connections between the development and the street network;
 - Be at least 3m wide and no more than 6m wide;
 - Be provided from a rear lane or secondary street where possible; and
 - Be separate from pedestrian entries.
- The number of vehicle entries should be minimised consolidation should be encouraged to avoid multiple vehicle entry points to any development.

Building Depths

- All bedrooms should have direct access to natural daylight.
- Cross-ventilation of buildings should be demonstrated by proponents to Council satisfaction.
- Avoid the use of light wells above 10 storeys and, should a lightwell be included, it should follow the guidelines in Table 1 – Light Wells.

Building Separation

- New development should not limit the future development potential of adjacent neighbours.
- Within Precincts C and F building separation at the rear and side boundaries should follow the guidelines in Table 2- Building Separation.
- Within Precinct E, setbacks should be provided to respect Heritage Overlay buildings (Town Hall and Box Hill TAFE Building W2) as well as other significant civic buildings.

Overshadowing

- Buildings should not cast additional overshadow on key open spaces and plazas between 11.00-14.00 on 22 June.
- Buildings should not overshadow front gardens/ balconies on allotments within Built Form Precinct A for more than three consecutive hours between 10.00-15.00 on 22 September.
- Buildings should not overshadow private open space on residential land outside the Activity Centre boundary for more than three consecutive hours between 10.00-15.00 on 22 September.

Landscaping

- Landscaping should contribute to a high level of amenity and be functional and sustainable in design.
- Roofs and other horizontal surfaces should be used to collect rain water to be reticulated to maintain gardens.
- Roof gardens should be designed and provided for social and environmental reasons and be accessible to apartment residents.
- Where planting occurs above slabs, car parking areas or buildings, ensure sufficient size, volume and depth of planting beds to enable plants to reach maturity and healthy growth.
- Incorporate water-sensitive urban design techniques that allow rain water to penetrate the soil and help to support tree and plant growth, and the reduction of stormwater run-off.
- Canopy trees should be retained where possible and new canopy trees planted to contribute to the 'urban forest'.

Table 1 – Light Wells

Building Height	Minimum Lightwell Area	Minimum Lightwell Dimension
Up to 8 storeys	29m ²	4.5m
8-10 storeys	51m ²	6m
Greater than 10 storeys	No lightwell allowed	No lightwell allowed

Table 2 – Building Heights and Separation

Sub-Precinct	Preferred Maximum Building Height	Minimum Setback from Side and Rear Boundaries		Minimum Setback from Buildings within the Site
B	3 storeys			
C/F1	Up to 8 storeys	0m		0m
D	4 storeys			
E	4-6 storeys			
F2	Up to 10 storeys	0m		0m
	10 to 15 storeys	5m		
F3	Up to 10 storeys	0m		0m
	10 to 12 storeys	5m		
F4 & F5	Up to 5 storeys	0m		0m
	6 to 20 storeys	5m		
F5	21 to 30 storeys	8m		
F6	Refer to sub-precinct guidelines			
F7	Up to 10 storeys	0m		0m
	10 to 12 storeys	5m		
F8	Up to 5 storeys	0m		0m
	6 to 10 storeys	5m		
F9	Refer to sub-precinct guidelines			

Table 3 –Sub-precinct C/F1 Guidelines – Traditional Town Centre

Urban Design Attribute	Precinct Objectives	Built Form Response
Subdivision Pattern	<p>To discourage site consolidation.</p> <p>To support infill re-development above, or behind existing heritage forms.</p>	<p>100% Site coverage.</p> <p>No side setback.</p> <p>Party wall arrangement along common boundaries.</p>
Street walls and preferred maximum heights	<p>To establish a pedestrian scale urban environment.</p> <p>To retain a sense of openness to the sky.</p> <p>To ensure proportionate relationship between the low scale street wall and potential future addition above/ to the rear.</p>	<p>1-2 storey street wall along Whitehorse Road and Station Street.</p> <p>Minimum 10m setback for additional levels, measured from primary street boundaries.</p> <p>Maximum building height of 8 storeys.</p>
Heritage	<p>To ensure consistency of low scale street wall presentation along Whitehorse Road.</p> <p>To recognise the presence of individual significant heritage building.</p>	<p>A distinction to the building 'base' design of up to 4 storeys to the rear.</p> <p>No side setbacks are required.</p>
Key Views	<p>To frame viewlines to heritage forms along Whitehorse Road and Station Street.</p> <p>To maintain a sense of openness around the listed heritage buildings in the streetscape.</p>	
Additional street/laneway address	<p>Refer to objectives and requirements under Clauses 1 and 2.</p>	<p>Set back ground level and level 1 from rear boundary by 1.5m to facilitate vehicular/ service access from rear laneways as required.</p>
Amenity/access to daylight	<p>Refer to objectives and requirements under Clauses 1 and 2.</p> <p>To avoid additional overshadowing of key open space areas and pedestrian plazas, as shown in Figure 8 (Public Realm and Environment) on page 24 of the Built Form Guidelines.</p>	<p>Refer to objectives and requirements under Clauses 1 and 2.</p>
Landscape	<p>Refer to objectives and requirements under Clauses 1 and 2.</p>	<p>Refer to objectives and requirements under Clauses 1 and 2.</p>

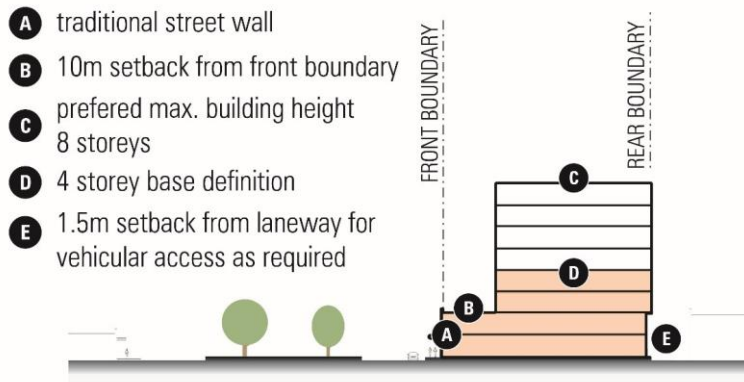


Figure 1 –Sub-precinct C/F1 Illustrative Cross Section

Table 4 –Sub-precinct F2 Guidelines – Station Street

Urban Design Attribute	Precinct Objectives	Built Form Response
Subdivision Pattern	<p>To support medium to high density infill development.</p> <p>To encourage lot consolidation to support development potential and minimise offsite impacts.</p>	<p>100% Site coverage.</p> <p>Additional building height is possible on sites which are greater than 1,500sqm subject to positive contribution to its local context.</p> <p>A plot - ratio approach to support greater development scale is applicable on Strategic Development Sites (to be determined) subject to positive contribution to its local context.</p> <p>The site at 519-521 Station Street is subject to a separate design brief for built form and urban design.</p>
Street walls and preferred maximum heights	<p>To establish a pedestrian scale urban environment.</p> <p>To establish a distinctive and consistent urban presence at the entry points of Box Hill from the north and south along Station Street.</p> <p>To establish a consistent height datum of robust infill street wall with recessive upper level/s along Station Street south of Whitehorse Road.</p> <p>To support high density transit oriented development opportunity at the Centro Box Hill site.</p>	<p>10 storey street wall to achieve a maximum 2:1 (street wall to street width) ratio along Station Street south of Whitehorse Road.</p> <p>5 storey (20m) street wall to achieve a maximum 1:1 (street wall to street width) ratio along Station Street north of Whitehorse Road.</p> <p>Preferred setback of 5m above the street wall.</p> <p>Preferred maximum height of 12 storeys.</p> <p>Preferred maximum height of 15 storeys on sites greater than 1,500sqm, subject to separate</p>

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		<p>design brief for built form and urban design.</p> <p>Centro Box Hill site as a Strategic Development Site.</p> <p>The site at 519-521 Station Street is subject to a separate design brief for built form and urban design.</p> <p>No setback from side and rear boundaries for up to 10 storeys.</p> <p>Minimum 5m setback from side and rear boundaries for 10-15 storeys.</p>
Heritage	N/A	N/A
Key Views	N/A	N/A
Additional street/laneway address	Refer to objectives and requirements under Clauses 1 and 2.	<p>Set back ground level and level 1 from rear boundary by 1.5m to facilitate vehicular/service access from rear laneways as required.</p> <p>Encourage minimising the provision of car parking.</p>
Amenity/access to daylight	Refer to objectives and requirements under Clauses 1 and 2.	Refer to objectives and requirements under Clauses 1 and 2.
Landscape	Refer to objectives and requirements under Clauses 1 and 2.	<p>Refer to objectives and requirements under Clauses 1 and 2.</p> <p>Encourage establishment of green walls, or landscape elements within the building facade to benefit from northern orientation.</p> <p>Establish landscaped roof top gardens.</p>

- A** 10 storey street wall to street frontage
- B** preferred max. building height
- C** 12 - 15 storeys
- D** 5m setback above street wall
- E** 5 storey street wall to rear
- F** 5 storey base definition
- F** 1.5m setback from laneway for vehicular access as required

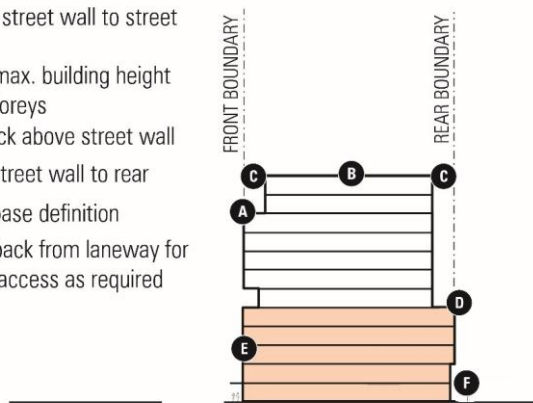


Figure 2 – Sub-precinct F2 Illustrative Cross Section

Table 5 –Sub-Precinct F3 Guidelines - Rutland Road, Watts Street & Carrington Road

Urban Design Attribute	Precinct Objectives	Built Form Response
Subdivision Pattern	<p>To support medium to high density infill development.</p> <p>To encourage lot consolidation to support development potential and minimise offsite impacts.</p>	<p>100% Site coverage.</p> <p>Additional building height is possible on sites which are greater than 1,500sqm subject to positive contribution to its local context.</p>
Street walls and preferred maximum heights	<p>To establish a pedestrian scale urban environment.</p> <p>To establish a consistent height datum of robust infill street wall with recessive upper level/s.</p> <p>To establish a sense of transition on sites with a direct residential interface (outside the Activity Centre).</p> <p>To establish active frontages along Carrington Street, Rutland Road and Ellingworth Parade.</p>	<p>10 storey street wall to achieve a maximum 2:1 (street wall to street width) ratio along local streets with a clear distinction to the building base (up to 5 storeys).</p> <p>4 storey street walls along residential interface.</p> <p>Preferred maximum height of 10 storeys.</p> <p>Preferred maximum height of 12 storeys on sites greater than 1,500sqm.</p> <p>Preferred setback of 5m above the street wall to the rear.</p> <p>No setback from side and rear boundaries for up to 10 storeys.</p> <p>Minimum 5m setback from side and rear boundaries for 10-12 storeys.</p>
Heritage	N/A	N/A
Key Views	N/A	N/A
Additional street/laneway address	Refer to objectives and requirements under Clauses 1 and 2.	Set back ground level and level 1 from rear boundary by 1.5m to facilitate vehicular/ service access from rear laneways as required.
Amenity/access to daylight	Refer to objectives and requirements under Clauses 1 and 2.	Refer to objectives and requirements under Clauses 1 and 2.
Landscape	Refer to objectives and requirements under Clauses 1 and 2.	<p>Refer to objectives and requirements under Clauses 1 and 2.</p> <p>Encourage establishment of green walls, or landscape elements within the building facade to benefit from northern orientation.</p> <p>Establish a sense of address onto areas identified as key open space.</p> <p>Improve urban presence along Rutland Road (railway line) and Carrington Road.</p>

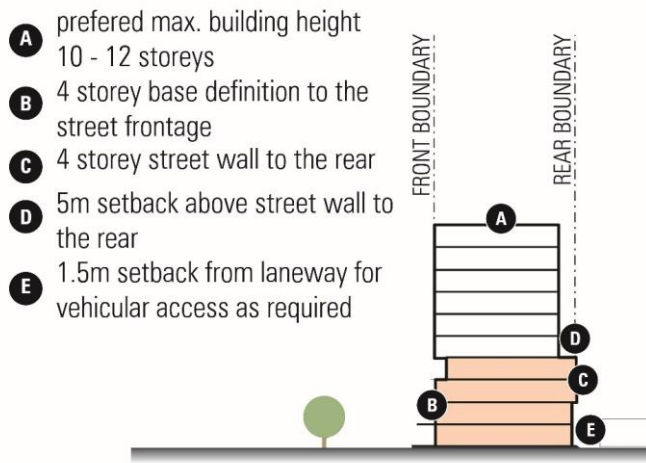


Figure 3 - Sub-precinct F3 Illustrative Cross Section

Table 6 –Sub-Precinct F4 Guidelines – Whitehorse Road and Prospect Street

Urban Design Attribute	Precinct Objectives	Built Form Response
Subdivision Pattern	<p>To establish a transition between Whitehorse Road West (Sub-Precinct F5) and the Traditional Town Centre (Sub-Precinct C/F1).</p> <p>To support high density mixed use development.</p> <p>To facilitate a series of tall separated building forms on large and extra-large sites.</p> <p>To encourage lot consolidation for medium and smaller sites.</p> <p>To ensure sufficient separation between buildings to avoid excessive visual bulk.</p>	<p>100% site coverage for podium.</p> <p>Refer to objectives and requirements under Clauses 1 and 2.</p>
Street walls and preferred maximum heights	<p>To establish a pedestrian scale urban environment.</p> <p>To establish a consistent urban presentation along Whitehorse Road.</p> <p>Retain a sense of openness along Whitehorse Road.</p> <p>To establish a sense of transition on sites with a direct residential interface (outside the Activity Centre).</p> <p>To achieve activated ground level along its street interfaces.</p>	<p>5 storey street wall to achieve a maximum 1:1 (street wall to street width) ratio.</p> <p>Preferred setback of 5m above podium to all sides (minimum).</p> <p>Preferred maximum height of 20 storeys.</p> <p>A minimum 30 degrees angled setback profile above 15 storeys for allotments with sensitive residential interface to Hopetoun Parade, Thurston Street and Elgar Road.</p> <p>No setback from side and rear boundaries for up to 5 storeys.</p> <p>Minimum 5m setback from side and rear boundaries for 6-20 storeys.</p>

WHITEHORSE PLANNING SCHEME

Heritage	To recognise the presence of an individually significant heritage building.	
Key Views	Refer to objectives and requirements under Clauses 1 and 2. To establish a sense of openness and retention of view corridor along Whitehorse Road to the Dandenong Ranges to the east.	Refer to objectives and requirements under Clauses 1 and 2.
Additional street/laneway address	Refer to objectives and requirements under Clauses 1 and 2.	Set back ground level and level 1 from rear boundary by 1.5m to facilitate vehicular/ service access from rear laneways as required.
Amenity/access to daylight	Refer to objectives and requirements under Clauses 1 and 2.	Refer to objectives and requirements under Clauses 1 and 2.
Landscape	Refer to objectives and requirements under Clauses 1 and 2.	Encourage establishment of green walls, or landscape elements within the building façade. Incorporate landscaped gardens on podium roof top.

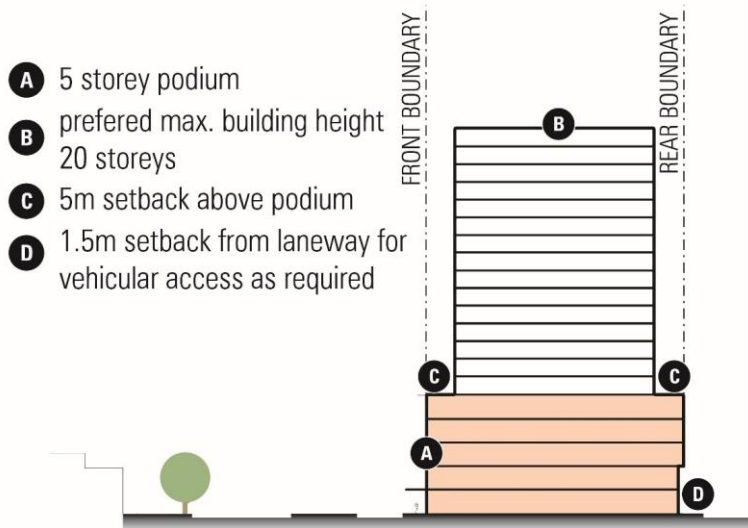


Figure 4 - Sub-precinct F4 Illustrative Cross Section

Table 7 –Sub-Precinct F5 Guidelines – Whitehorse Road West

Urban Design Attribute	Precinct Objectives	Built Form Response
Subdivision Pattern	<p>To support high density mixed use development.</p> <p>To facilitate a series of tall separated building forms on large and extra-large sites.</p> <p>To encourage lot consolidation for medium and smaller sites.</p> <p>Ensure sufficient separation between buildings to avoid excessive visual bulk.</p>	<p>100% site coverage at the ground level.</p> <p>Refer to objectives and requirements under Clauses 1 and 2.</p>
Street walls and preferred maximum heights	<p>To establish a distinctive sense of arrival into Box Hill Activity Centre from the west.</p> <p>To establish a pedestrian scale urban environment.</p> <p>To establish a sense of transition on sites with a direct residential interface (outside the Activity Centre).</p> <p>To activate street interfaces at ground levels.</p>	<p>5 storey street wall to achieve a maximum 1:1 (street wall to street width) ratio.</p> <p>Preferred setback of 5m above podium to all sides (minimum).</p> <p>Preferred maximum height of 30 storeys.</p> <p>Preferred minimum setback of 5-8m above the podium.</p> <p>No setback from side and rear boundaries for up to 5 storeys.</p> <p>Minimum 5m setback from side and rear boundaries for 6-20 storeys.</p> <p>Minimum 8m setback from side and rear boundaries for 21-30 storeys.</p>
Heritage	N/A	N/A
Key Views	N/A	N/A
Additional street/laneway address	<p>Refer to objectives and requirements under Clauses 1 and 2.</p> <p>Additional pedestrian connections between Elgar and Wellington Road consistent with those identified within the Structure Plan.</p> <p>To ensure priority pedestrian links, as shown on the Access Framework Map in Clause 22.07, are provided with active frontages.</p>	<p>Refer to objectives and requirements under Clauses 1 and 2.</p> <p>Set back ground level and level 1 from rear boundary by 1.5m to facilitate vehicular/ service access from rear laneways as required.</p> <p>Align key view lines with priority pedestrian links.</p> <p>At grade pedestrian links that are open to the sky.</p>
Amenity/access to daylight	Refer to objectives and requirements under Clauses 1 and 2.	Refer to objectives and requirements under Clauses 1 and 2.
Landscape	<p>Improve pedestrian amenity along Elgar Road.</p> <p>Refer to objectives and requirements under Clauses 1 and 2.</p>	<p>Landscape setback along Elgar Road (minimum 5m) at the ground level.</p> <p>Incorporate landscaped gardens on podium roof top.</p> <p>Incorporate landscaping elements within the building façades, where possible.</p>

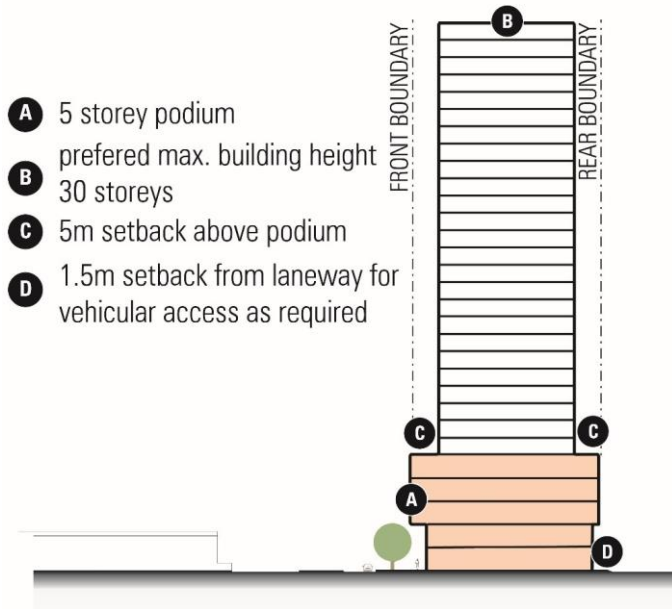


Figure 5 - Sub-precinct F5 Illustrative Cross Section

Table 8 –Sub-Precinct F6 Guidelines – TAFE and Hospital

Urban Design Attribute	Precinct Objectives	Built Form Response
<p>Subdivision Pattern</p>	<p>To support high density education/institutional development, <u>with landscaping at street frontages where possible within a generous landscape setting at the ground level (campus style).</u></p> <p><u>To support innovation and provide flexibility for health, educational and employment uses.</u></p> <p>To encourage lot consolidation for medium and smaller sites.</p> <p><u>To encourage taller forms with smaller footprints with a generous separation between buildings.</u></p>	<p><u>60% site coverage.</u></p> <p>A minimum 10m separation between buildings, <u>(residential uses only).</u></p> <p><u>A plot-ratio approach is applicable on extra large sites. Where possible, opportunities for building separation between non-residential buildings should be explored to provide for view lines and to accommodate landscaping.</u></p>

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Street walls and preferred maximum heights	To establish continuous belt of landscaping along all street frontages. To encourage diversity of building types. To ensure building orientation considers future development on or adjacent to the site, including potential linkages to such development.	Minimum 8m landscape setback from all street frontages. Preferred maximum height of 15 storeys.
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Heritage	N/A	N/A
Key Views	To ensure building orientation provides a positive relationship to the campus open space network and usable open space. To ensure buildings 'frame' key viewlines.	A minimum 10m separation between buildings <u>(residential uses only)</u> . <u>Where possible, opportunities for building separation between non-residential buildings should be explored to provide for view lines and to accommodate landscaping.</u> Align key view lines with priority pedestrian links.
Additional street/laneway address	To ensure building orientation provides a positive relationship to the campus open space network and usable open space. To ensure buildings 'frame' key viewlines.	At grade pedestrian links that are open to the sky. Encourage active frontages along pedestrian priority link.
Amenity/access to daylight	Refer to objectives and requirements under Clauses 1 and 2.	Refer to objectives and requirements under Clauses 1 and 2.
Landscape	Refer to objectives and requirements under Clauses 1 and 2.	Landscape <u>setback at ground level to all-priority pedestrian street edges (minimum 8m)</u> . <u>Cross-overs and drops offs may be included within landscape setbacks areas where appropriate.</u> Incorporate landscaping elements within the building façades where possible.

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Table 9 –Sub-Precinct F7 Guidelines – Garden Infill

Urban Design Attribute	Precinct Objectives	Built Form Response
Subdivision Pattern	To support medium to high density development in a garden setting.	80% site coverage.
Street walls and preferred maximum heights	To establish a pedestrian scale urban environment. To retain a sense of openness with consistent front garden presentation along street frontages. To ensure future amenity is provided for on site.	10 storey building base to achieve a maximum 1:1 (street wall to street width) ratio. Preferred ground level setback of 5m from the street frontage (landscape zone). Preferred ground level setback of 5m from the rear boundary. Preferred maximum height of 12 storeys. Preferred setback of 3m above the street wall. Encourage party wall construction for up to 10 storeys. Minimum 5m setback from side and rear boundaries for 10-12 storeys.

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Heritage	N/A	N/A
Key Views	N/A	N/A
Additional street/laneway address	Refer to objectives and requirements under Clauses 1 and 2.	Accommodate a minimum 5m setback to the rear to achieve a consistent 10m separation between forms (up to 10 storey).

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Amenity/access to daylight	Refer to objectives and requirements under Clauses 1 and 2.	Refer to objectives and requirements under Clauses 1 and 2.
Landscape	Refer to objectives and requirements under Clauses 1 and 2.	Preferred ground level setback of 5m from the street frontage (landscape zone). Accommodate a minimum 5m setback to the rear to achieve a consistent 10m separation between forms (up to 10 storeys).

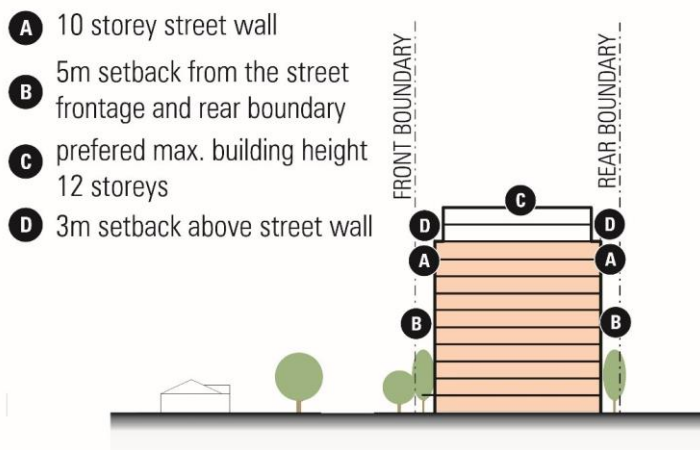


Figure 6 - Sub-precinct F7 Illustrative Cross-Section

Table 10 –Sub-Precinct F8 Guidelines – Box Hill Gardens

Urban Design Attribute	Precinct Objectives	Built Form Response
Subdivision Pattern	To support medium density development. To encourage lot consolidation to support development potential and minimise offsite impacts.	100% site coverage at the ground level.
Street walls and preferred maximum heights	To establish a pedestrian scale urban environment. To retain a sense of openness with local streets. To ensure future amenity is provided for on site.	A 4 storey street wall to achieve a maximum 1:1 (street wall to street width) ratio. Preferred maximum height of 10 storeys. The sites at 2-4 Bruce Street and 7 Elland Avenue are subject to a separate design brief for built form and urban design. Preferred setback of 3m above the street wall from the street frontage. A minimum 5m setback to the side/rear above the street wall. No setback from side and rear

WHITEHORSE PLANNING SCHEME

		boundaries for up to 5 storeys. Minimum 5m setback from side and rear boundaries for 6-10 storeys.
Heritage	N/A	N/A
Key Views	N/A	N/A
Additional street/laneway address	To maximise opportunities for outlook onto the public realm. To ensure future amenity is provided for on site.	Communal open space should be provided within each development.
Amenity/access to daylight	Refer to objectives and requirements under Clauses 1 and 2.	Refer to objectives and requirements under Clauses 1 and 2.
Landscape	To encourage positive landscape contributions to the public realm.	Incorporate landscaping elements within the building façades where possible.

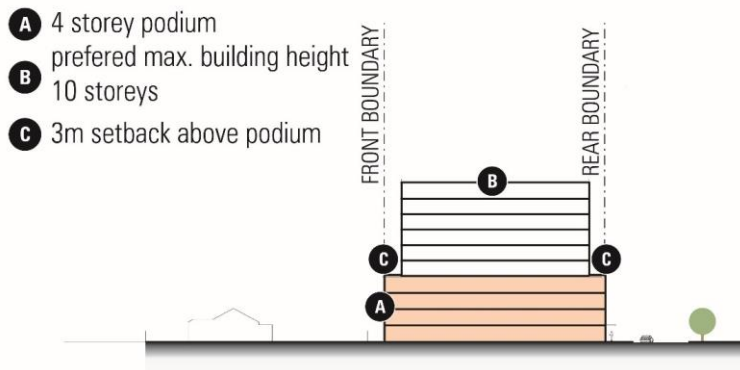


Figure 7 - Sub-precinct F8 Illustrative Cross-Section

Table 11 –Sub-Precinct F9 Guidelines – Kingsley Gardens

Urban Design Attribute	Precinct Objectives	Built Form Response
Subdivision Pattern	To support medium density civic/institutional development within a generous landscape setting at the ground level (campus style). To encourage lot consolidation for medium and smaller sites. To encourage taller forms with smaller footprints with a generous separation between buildings.	60% site coverage. A plot - ratio approach is applicable on extra large sites.
Street walls and preferred maximum heights	To establish continuous belt of landscaping along all street frontages. To ensure building orientation considers future development on or adjacent to the site, including potential linkages to such	Minimum 8m landscape setback from all street frontages. Preferred maximum height of 8 storeys.

WHITEHORSE PLANNING SCHEME

	development.	
Heritage	N/A	N/A
Key Views	To ensure building orientation provides a positive relationship to the campus open space network and usable open space. To ensure buildings 'frame' key viewlines.	A minimum 10m separation between buildings. Align key view lines with priority pedestrian links.
Additional street/laneway address	To improve pedestrian permeability. To maximise opportunities for outlook onto the public realm.	Encourage active frontages along Kingsley Gardens at the ground level. Provide ground level east – west connection at regular intervals between Elgar Road and Kingsley Gardens. At grade pedestrian links that are open to the sky.
Amenity/access to daylight	Refer to objectives and requirements under Clauses 1 and 2.	Refer to objectives and requirements under Clauses 1 and 2.
Landscape	To encourage positive landscape contribution to the public realm	Landscape setback to all street edges (minimum 5m). Incorporate landscaping elements within the building façades where possible. Incorporate public spaces at the ground level where possible.

3.0 Subdivision

--/20--
C--

A permit is not required to subdivide land.

4.1 Decision guidelines

--/20--
C--

Before deciding on an application, in addition to the decision guidelines listed at Clause 43.02-5, the responsible authority must consider:

- The Design Objectives and Buildings and Works requirements included in this Schedule.
- The attributes, precinct objectives and built form response guidelines for each precinct and sub-precinct, as contained within the Box Hill Metropolitan Activity Centre Built Form Guidelines, Hansen Partnership, 2016.
- For Precincts B, D and E, the attributes, precinct objectives and built form response guidelines for each precinct, as contained within the Box Hill Transit City Activity Centre Structure Plan, 2007.

5.0 Reference documents

--/20--
C--

Box Hill Transit City Activity Centre Structure Plan, 2007

Box Hill Metropolitan Activity Centre Built Form Guidelines, Hansen Partnership, 2016

Appendix 3

SPECIAL USE ZONE FOR EPWORTH GEELONG AND EPWORTH RICHMOND SITES

09/02/2012
C252**SCHEDULE 14 TO THE SPECIAL USE ZONE**Shown on the planning scheme map as **SUZ14**.**PRIVATE TEACHING HOSPITAL AND EDUCATION PRECINCT****Purpose**

To provide for a private hospital and associated uses.

To provide for a dedicated education precinct within a new private hospital development located adjacent to Deakin University's Waurin Ponds Campus.

1.009/02/2012
C252**Table of uses****Section 1 - Permit not required**

Use	Condition
Caretakers House	
Car Park	Where used in conjunction with another Section 1 use.
Childcare Facility	Must be associated with the hospital or educational uses.
Education Centre	Must be associated with the hospital.
Emergency Services Facility	
Informal outdoor recreation	
Minor utility installation	
Hospital	
Medical Centre	
Research and Development Centre	Must be associated with the hospital or educational uses.
Railway	
Tramway	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01.

Section 2 - Permit required

Use	Condition
Office (excluding Medical Centre)	Must be used in association with the hospital or educational uses.
Function Centre	Must be used in association with the hospital or educational uses.
Residential Building	Must be used in association with the hospital or educational uses.
Retail Premises	Must be used in association with the hospital or educational uses.

Use	Condition
Transport Terminal	Must be used in association with the hospital or educational uses.
Any use not in Section 1 or 3	

Section 3 - Prohibited

Use
Accommodation (other than Caretakers House or Residential Building
Brothel
Cemetery
Cinema Based Entertainment facility
Crematorium
Funeral Parlour
Industry
Saleyard
Service Station

2.0

09/02/2012
C252

Use of land

Amenity of the Neighbourhood

The use of land must not adversely affect the amenity of the neighbourhood by:

- Traffic and car parking generated by the use.
- The transport of materials or goods to or from the land.
- The appearance of any building, works or materials.
- Noise generated by the use.

Application Requirements

Any application to use land must include a site plan and description showing how the proposed use will complement the private hospital facility and/or education facility.

An application to use land must be accompanied by the following information, as appropriate:

- The purpose of the use and the type of activities which will be carried out;
- The likely effects, if any, on adjoining land, including noise levels, traffic, the hours of delivery and despatch of goods and materials, hours of operation and light spill, solar access and glare; and
- Maintenance of areas not required for immediate use.

Decision Guidelines

Before deciding on an application to use land, the responsible authority must consider, as appropriate:

- The purpose of the zone;

- The effect that existing uses on nearby or adjoining land may have on the proposed use;
- The effect of traffic to be generated on roads;
- The effect of the proposed use on car parking;
- The availability of and connection to services;
- The drainage of the land;
- The interim use of those parts of the land not required for the proposed use.

3.0

09/02/2012
C252

Subdivision

The fragmentation of land through subdivision that does not support the purpose of the zone is discouraged.

Application Requirements

Any application to subdivide land must state the intended outcome of the proposed subdivision and its strategic impact on the overall operation of the private hospital facility and/or education facility and address the interface and connectivity between land uses on the site and on adjoining land.

Decision Guidelines

Before deciding on an application to subdivide land the responsible authority must consider, as appropriate:

- The purpose of the zone.
- The maintenance and retention of publicly accessible areas and links between public and private spaces and the various land uses.
- Provision for vehicles providing for supplies, waste removal and emergency services and public transport.
- The interface with adjoining zones, especially the relationship with residential areas.
- The effect the subdivision will have on the potential of the area to accommodate the uses which are encouraged in the zone.

4.0

09/02/2012
C252

Buildings and works

Application Requirements

An application to construct a building or carry out works must be accompanied by a plan drawn to scale, which shows:

- The boundaries and dimensions of the site.
- Relevant ground levels.
- Adjoining roads.
- The location, height and purpose of buildings and works on adjoining land.
- Elevation drawings indicating the colour and materials of all proposed buildings and works.
- Details of existing and proposed landscaping.

- A plan showing connections between the private hospital and the adjacent Deakin University site.
- Details of all drainage works, driveways, car parking and loading areas.
- External storage and waste treatment areas.
- Any increase in traffic generation.
- The interface with adjoining land uses.

Exemption from Notice and Review

An application to construct a building or construct or carry out works for any Section 1 Use is exempt from the notice requirements of Section 52(1)(a), (b) and (d) , the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

Decision Guidelines

Before deciding on an application to construct a building or construct or carry out works, the responsible authority must consider, as appropriate:

- The provision for car parking.
- The appearance and bulk of buildings having regard to the adjoining land.
- The provision of land for landscaping.
- The movement of pedestrians and cyclists and vehicles providing for supplies, waste removal, emergency services and public transport.
- Loading and service areas.
- The effect of the proposed buildings and works on the amenity of the surrounding area including the effects of noise, lighting, overshadowing and privacy.
- The availability of and connection to services.
- The drainage of land.

27/11/2014
C177**SCHEDULE 5 TO THE SPECIAL USE ZONE**Shown on the planning scheme map as **SUZ5**.**EPWORTH RICHMOND PRIVATE HOSPITAL****Purpose**

To implement the State Planning Policy Framework and the Local Planning Policy Framework.

To provide for the continued use and development of land for a private hospital and associated uses.

To protect the amenity of patients and residents within and around this precinct.

1.0**Table of uses**27/11/2014
C177**Section 1 - Permit not required**

Use	Condition
Caretakers House	
Car Park	Where used in conjunction with another Section 1 use.
Childcare Facility	Must be associated with the hospital
Education Centre	Must be associated with the hospital.
Emergency Services Facility	
Informal outdoor recreation	
Minor utility installation	
Hospital	
Medical Centre	
Research and Development Centre	Must be associated with the hospital.
Railway	
Tramway	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01.

Section 2 - Permit required

Use	Condition
Office (excluding Medical Centre)	Must be used in association with the hospital.
Function Centre	Must be used in association with the hospital.
Residential Building	Must be used in association with the hospital.

Use	Condition
Retail Premises	Must be used in association with the hospital.
Transport Terminal	Must be used in association with the hospital.
Any use not in Section 1 or 3	

Section 3 - Prohibited

Use
Accommodation (other than Caretakers House or Residential Building)
Brothel
Cemetery
Cinema Based Entertainment facility
Crematorium
Funeral Parlour
Industry
Saleyard
Service Station

2.0

27/11/2014
C177

Use of land

Amenity of the Neighbourhood

The use of land must not adversely affect the amenity of the neighbourhood beyond a level that is reasonably acceptable for the operation of the site as a hospital and medical precinct as a result of:

- Traffic and car parking generated by the use.
- The transport of materials or goods to or from the land.
- The appearance of any building, works or materials.
- Noise generated by the use.

Application Requirements

Any application to use land must include a site plan and description showing how the proposed use will complement the private hospital facility.

An application to use land must be accompanied by the following information, as appropriate:

- The purpose of the use and the type of activities which will be carried out.
- The likely effects, if any, on adjoining land, including noise levels, traffic, the hours of delivery and despatch of goods and materials, hours of operation and light spill, solar access and glare.
- Maintenance of areas not required for immediate use.

Decision Guidelines

Before deciding on an application to use land, the responsible authority must consider, as appropriate:

- The purpose of the zone.
- The effect that existing uses on nearby or adjoining land may have on the proposed use.
- The effect of traffic to be generated on roads.
- The effect of the proposed use on car parking.

3.0

27/11/2014
C177

Subdivision

The fragmentation of land through subdivision that does not support the purpose of the zone is discouraged, except where the need is to subdivide for the purpose of medical consulting suites.

Application Requirements

Any application to subdivide land must state the intended outcome of the proposed subdivision and its strategic impact on the overall operation of the private hospital facility and address the interface and connectivity between land uses on the site and on adjoining land.

Decision Guidelines

Before deciding on an application to subdivide land the responsible authority must consider, as appropriate:

- The purpose of the zone.
- The maintenance and retention of publicly accessible areas and links between public and private spaces and the various land uses.
- Provision for vehicles providing for supplies, waste removal and emergency services and public transport.
- The interface with adjoining zones, especially the relationship with residential areas.
- The effect the subdivision will have on the potential of the area to accommodate the uses which are encouraged in the zone.

4.0

27/11/2014
C177

Buildings and works

A permit is required to construct a building or to construct or carry out works.

Application Requirements

An application to construct a building or carry out works must be accompanied by a plan drawn to scale, which shows:

- The boundaries and dimensions of the site.
- Relevant ground levels.
- Adjoining roads.
- The location, height and purpose of buildings and works on adjoining land.

- Elevation drawings indicating the colour and materials of all proposed buildings and works.
- Details of existing and proposed landscaping.
- Details of driveways, car parking and loading areas.
- External storage and waste treatment areas.
- Any increase in traffic generation.
- The interface with adjoining land uses.

Decision Guidelines

Before deciding on an application to construct a building or construct or carry out works, the responsible authority must consider, as appropriate:

- Net community benefit, specifically the strategic benefit in delivering health care (including surgical procedures, critical care and emergency services) to the Victorian community.
- The provision for car parking
- The appearance and bulk of buildings having regard to the adjoining land
- The provision of land for landscaping
- The movement and safety of pedestrians, cyclists and vehicles providing for supplies, waste removal, emergency services and public transport.
- Loading and service areas.
- The effect of the proposed buildings and works on the amenity of the surrounding area including the effects of noise, lighting, overshadowing and privacy.



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